



**Agenda**  
**Board of Architectural Review**  
**May 5, 2026**  
**6:00 PM**  
**1250 Tiger Blvd.**  
**Council Chamber, Clemson City Hall**

**Call to Order**

**Adoption of Minutes**

- a. March 3, 2026

**Action Items**

Please note that Public Comments will be heard during each of the Action Items presentation.

- a. Building and Site Review
  - i. 2026-AR-02: Applicant WJ Bev StandCo 30, LLC, is requesting approval of a new commercial building at 614 Old Greenville Highway.
  - ii. 2026-AR-06: Applicant Frank Towe, with Betsch Associates, is requesting preliminary approval of a commercial upfit for a new Goodwill at 1051 Tiger Blvd.
  - iii. 2026-AR-04: Applicant Doug Smythe, with Kennedy Wilson, is requesting preliminary approval of a new development at 1310 Tiger Blvd.

**Staff Reports**

**Other Business**

**Adjourn**

**Board of Architectural Review Meeting  
December 2, 2025 - 6:00 P.M.  
CITY COUNCIL CHAMBER**

**Members Present:** Shannon Calloway, Cason Collins, Hunter Hanahan, Todd Howard, Andrew Neptune and Pete Matsko

**Members Absent:** Nathan Schaupp

**Staff Present:** Jacob Peabody, Zoning and Codes Administrator, and Rebekah Wilbanks, Recording Secretary

**1. Call to Order:** The meeting was called to order at 6:00 p.m.

Chairman Todd Howard read the opening statement and had board members introduce themselves. Mr. Howard continued to explain how the meeting will be conducted and invited attendees to use the Speaker Sign-in form to register to speak during the meeting. Mr. Howard also informed the audience that the BAR meetings are now being live streamed through the City of Clemson YouTube website.

**2. Adoption of Minutes:** Pete Matsko moved the minutes from the December 2, 2025, meeting be approved as presented. Andrew Neptune seconded the motion. Minutes were adopted by unanimous vote. (2:30)

**3. Action Items**

**a. Building and Site Review**

1. **2026-AR-01:** Applicant Jessica Newton is requesting approval of new signage at 107-3 Sloan Street. (2:59)

**Applicant Report:** Applicant Jessica Newton informed the board the application shows two different colors: gold color or the black color, and she currently feels the black lettering would look better on the brick. The letters will be 1-inch acrylic and will be mounted to the brick. (3:14)

**Staff Report:** Mr. Peabody informed the board the property is zone C and in the AR District 1. There is an existing light, and the sign meets code. (4:18)

No Public Comment. (4:35)

Discussion followed. (4:41)

Pete Matsko made a motion to approve the application with the stipulation the lettering be black. Hunter Hanahan seconded the motion. The motion was approved by unanimous vote. (5:19)

2. **2026-AR-03:** Applicant Cameron Tarrant, Signarama Anderson, is requesting approval of new signage at 356 College Ave. (5:34)

**Applicant Report:** Applicant Cameron Tarrant informed the board the sign will replace the existing wall panel with another flat ACM panel that is 3ft by 4ft. There will be additional signage on the entry doorway. (5:52)

**Staff Report:** Mr. Peabody informed the board the sign meets all size requirements and is not lit. (6:26)

Discussion followed. (6:43)

Pete Matsko made a motion to approve the application with the stipulation the wall mounted sign proportions be changed to match the width of the Hair South sign below it. Shannon Calloway seconded the motion. The motion was approved by unanimous vote. (9:24)

3. **2026-AR-02:** Applicant WJ Bev StandCo 30, LLC, is requesting approval of new commercial building at 614 Old Greenville Highway. (9:53)

**Applicant Report:** Applicant David Moore informed the board the proposal is a new 7 Brew Coffee. The building footprint will be less than 500 square feet, and is a modular building with a thin brick façade. There will be a two-lane drive thru circulating the building with a pass-through lane on either side. Access includes right in-right out on Old Greenville Highway and full access off of Skyview Drive. There will be a remote walk-in cooler with drive storage and cooling storage located to the right of the main building, and will be screened with the same architectural façade. (10:15)

Discussion followed. (12:27)

Pete Matsko recommended approval of the application with the following stipulations:

- Only the building is approved; the landscaping and hardscape (site plan) will still need to come back in front of the BAR for approval.
- All exterior lighting, including signage, will be on dimmers
- Exterior lighting will only be on during business hours
- 3.5ft-tall masonry wall will be added between the two parking spaces and Skyview Drive. This wall will be faced with brick to match the building.
- Planters will be added outside the two canopy posts in the ordering area of the drive thru

- A minimum of six canopy trees will be added to the street frontage
- More variety plant will be added to the parking lot plantings.

Shannon Calloway seconded the motion. Motion passed by unanimous vote. (39:32)

#### **4. Staff Reports**

#### **5. Other Business**

- a. Courtesy review of proposed Planned Development at 1310 Tiger Blvd. (40:48)

#### **6. Election of Officers**

Pete Matsko nominated Todd Howard for Chairman. Hunter Hanahan seconded the nomination. Mr. Howard was elected as Chairman unanimously by show of hands.

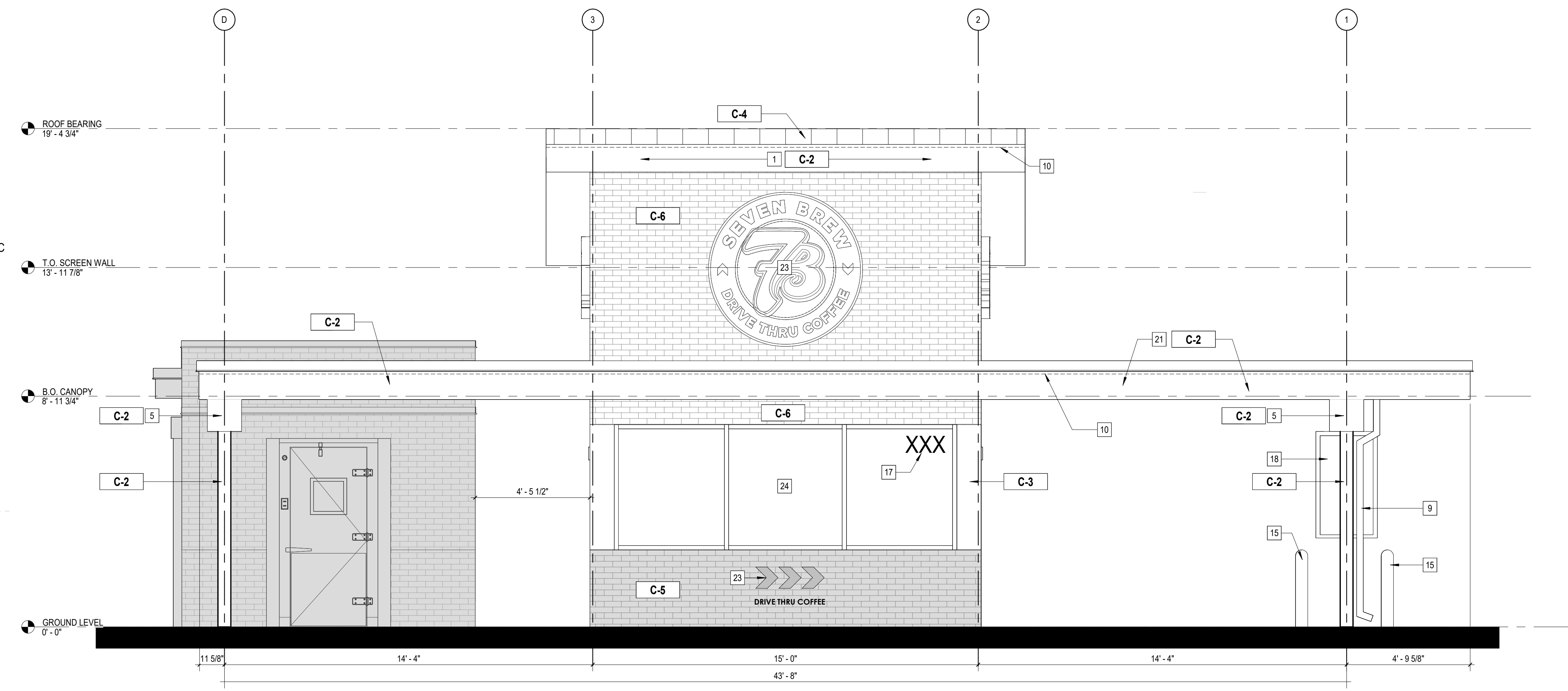
Todd Howard nominated Andrew Neptune as Vice Chairman. Shannon Calloway seconded the nomination. Mr. Neptune was elected Vice Chairman unanimously by show of hands. (1:13:38))

#### **7. Adjourn:** 7:15 p.m.

Respectfully submitted,

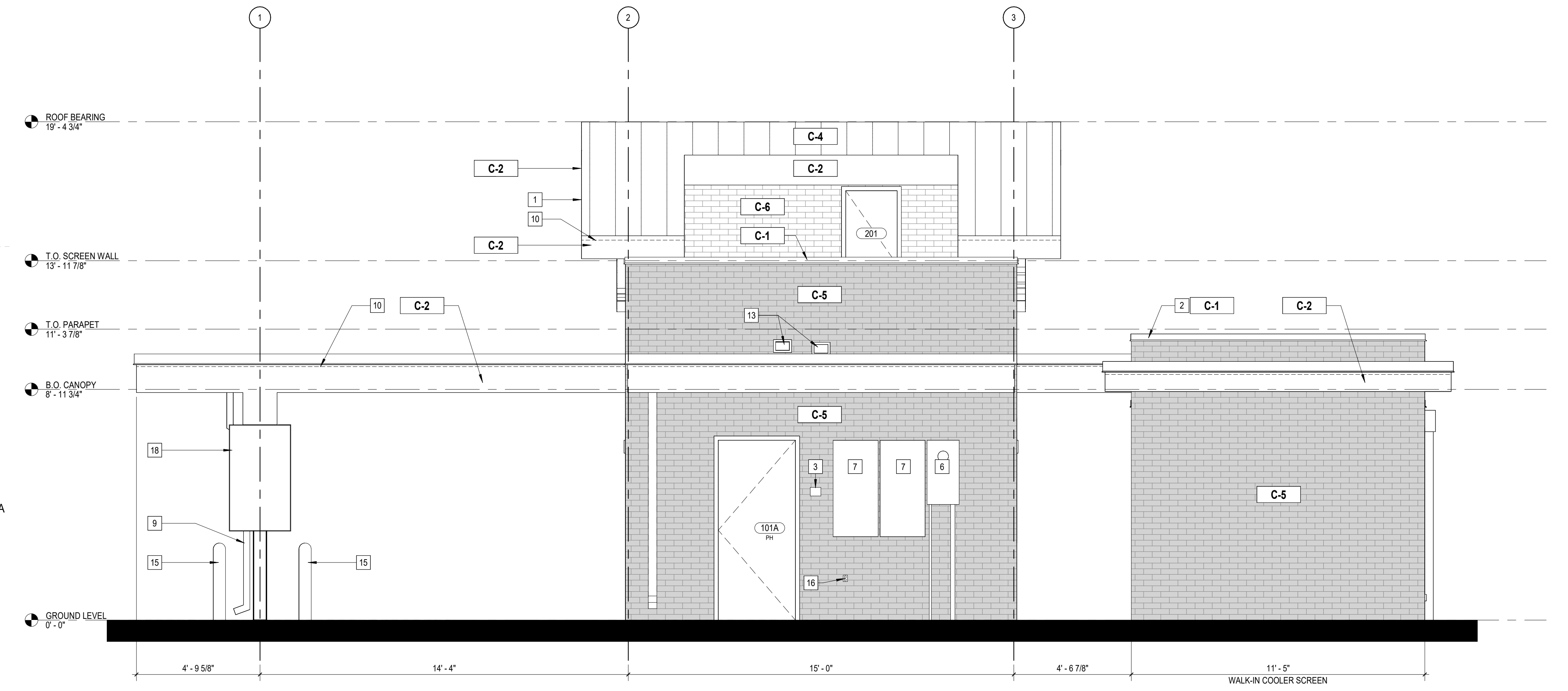
Rebekah Wilbanks  
Recording Secretary

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**B4 EXTERIOR ELEVATION - FRONT**

A201 3/8" = 1'-0"



**A4 EXTERIOR ELEVATION - BACK**

A201 3/8" = 1'-0"

**EXTERIOR ELEVATIONS GENERAL NOTES**

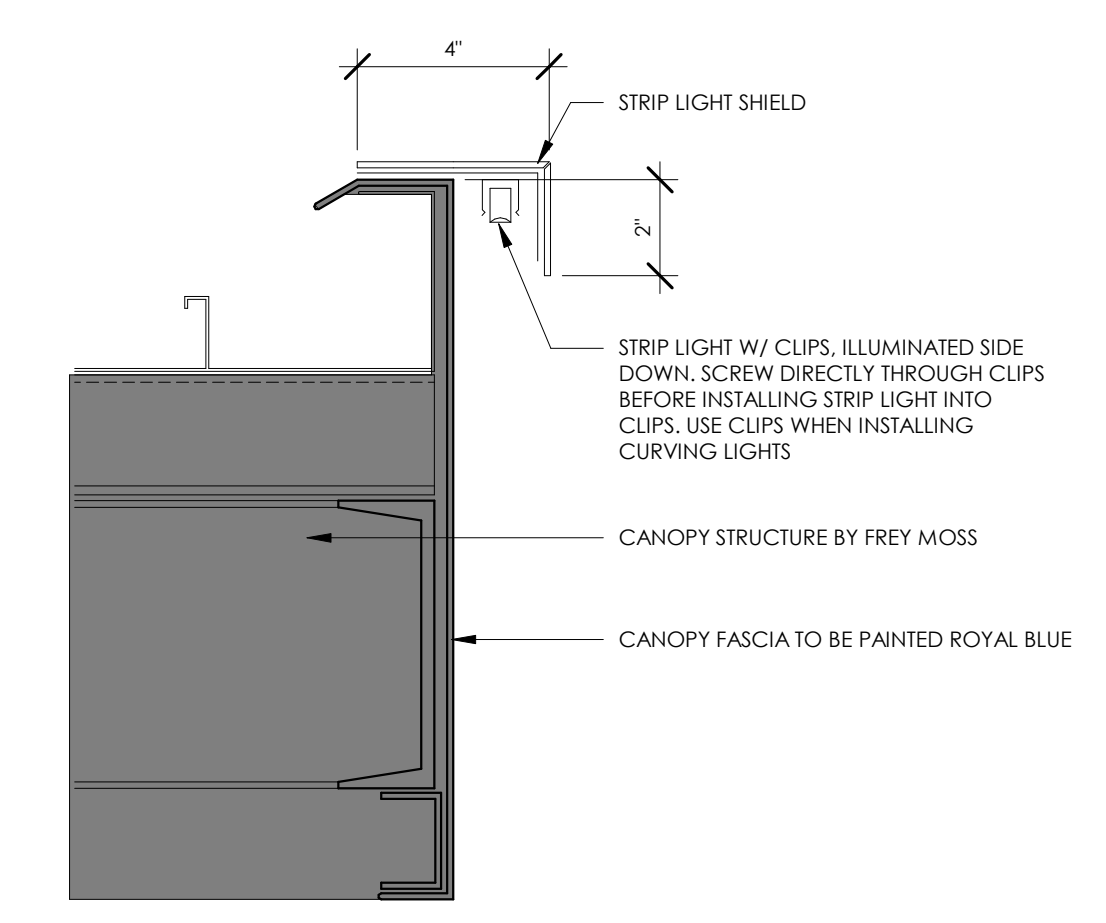
- A. SEPARATE PERMIT MAY BE REQUIRED FOR ALL SIGNS.
- B. SIGNAGE SHOWN FOR GENERAL LOCATION ONLY. REFER TO APPROVED SIGN DRAWINGS BY SIGNAGE COMPANY.
- C. CONTRACTOR TO SUPPLY REQUIRED POWER AND CONNECTION TO SIGN, COORDINATE WITH SIGN CONTRACTOR.
- D. VERIFY SQUARE FOOTAGE REQUIREMENTS PER LOCAL ZONING ORDINANCES AND CODES.

**EXTERIOR ELEVATIONS KEYNOTES**

- 1 BREAK METAL FASCIA
- 2 PREFINISHED METAL COPING. REF EXTERIOR ELEVATIONS FOR FINISH INFORMATION
- 3 KNOX KEY BOX
- 5 CANOPY BEAM WRAP
- 6 ELECTRICAL METER
- 7 ELECTRICAL PANEL
- 9 CANOPY DOWNSPOUT. REFER TO DETAILS
- 10 FULLY SHIELDED LED FLEX LIGHT; SEE MEP
- 13 ROOF SCUPPER. REF ROOF PLAN FOR MORE INFORMATION
- 16 BOLLARD. COORDINATE WITH CIVIL DRAWINGS.
- 15 EXTERIOR WEATHERPROOF OUTLET; REFER TO MEP
- 17 ADDRESS NUMBERS PER LOCAL REQUIREMENTS
- 18 SAMSUNG DIGITAL DISPLAYS - TYP OF (2). REFER TO ELECTRICAL PLANS
- 21 CANOPY TO BE PROVIDED AND INSTALLED BY GC. REFER TO STRUCTURAL.
- 23 SIGNAGE BY OTHERS
- 24 1" INSULATED TEMPERED THERMAL WINDOWS W/LOW-E GLASS, CLEAR, THERMAL WINDOW, INC. 550-FX-CW90

**FINISH SCHEDULE**

EXTERIOR FINISH SCHEDULE	
DESIGNATION	COLOR
C-1	METAL COPING - PAINTED SHERWIN WILLIAMS HGSW 3474 "HAMMERED ZINC GRAY"
C-2	ALUMINUM COMPOSITE MATERIAL - PREFINISHED ROYAL BLUE PANTONE 293 C
C-3	ALUMINUM STOREFRONT - CLEAR ANODIZED
C-4	POWDER COATED ALUMINUM - ROYAL BLUE PANTONE 293 C
C-5	THIN BRICK - TAYLOR CLAY "BLACK ONYX", WIRECUT FINISH GROUT: HOLICIUM "ULTRA DARK", BY ALLEY-CASSETY
C-6	THIN BRICK - BELDEN BRICK MODULAR #8530 VELOUR GROUT: HOLICIUM "WHITE"
C-7	DUMPSTER ENCLOSURE GATE AND POSTS - PAINTED SHERWIN WILLIAMS SW 7069 "IRON ORE"



**A1 CANOPY FASCIA DETAIL**

A201 3" = 1'-0"



CONSULTANT LOGO

SEALS

7 BREW  
 CLEMSON, SC

614 OLD GREENVILLE HIGHWAY, CLEMSON, SC 29631



SHEET ISSUE:  
NO. DATE DESCRIPTION BY

NOT FOR CONSTRUCTION

PRINCIPAL IN CHARGE: TNK  
PROJECT ARCHITECT: TNK  
DRAWN BY: IC

**EXTERIOR ELEVATIONS**

SHEET NO. PROJ. NO.  
00025822.15

**A201**

### EXTERIOR ELEVATIONS GENERAL NOTES

- A. SEPARATE PERMIT MAY BE REQUIRED FOR ALL SIGNS.
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- C. CONTRACTOR TO SUPPLY REQUIRED POWER AND CONNECTION TO SIGN, COORDINATE WITH SIGN CONTRACTOR.
- D. VERIFY SQUARE FOOTAGE REQUIREMENTS PER LOCAL ZONING ORDINANCES AND CODES.

### EXTERIOR ELEVATIONS KEYNOTES

- 2 PREFINISHED METAL COPING. REF EXTERIOR ELEVATIONS FOR FINISH INFORMATION
- 10 LED FLEX LIGHT. SEE MEP
- 21 CANOPY TO BE PROVIDED AND INSTALLED BY GC, REFER TO STRUCTURAL.
- 23 SIGNAGE BY OTHERS
- 24 1" INSULATED TEMPERED THERMAL WINDOWS W/LOW-E GLASS, CLEAR, THERMAL WINDOW, INC. 550-FX-CW80

### FINISH SCHEDULE

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CONSULTANT LOGO

SEALS

7 BREW  
CLEMSON, SC

614 OLD GREENVILLE HIGHWAY, CLEMSON, SC 29631



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NO. DATE DESCRIPTION BY

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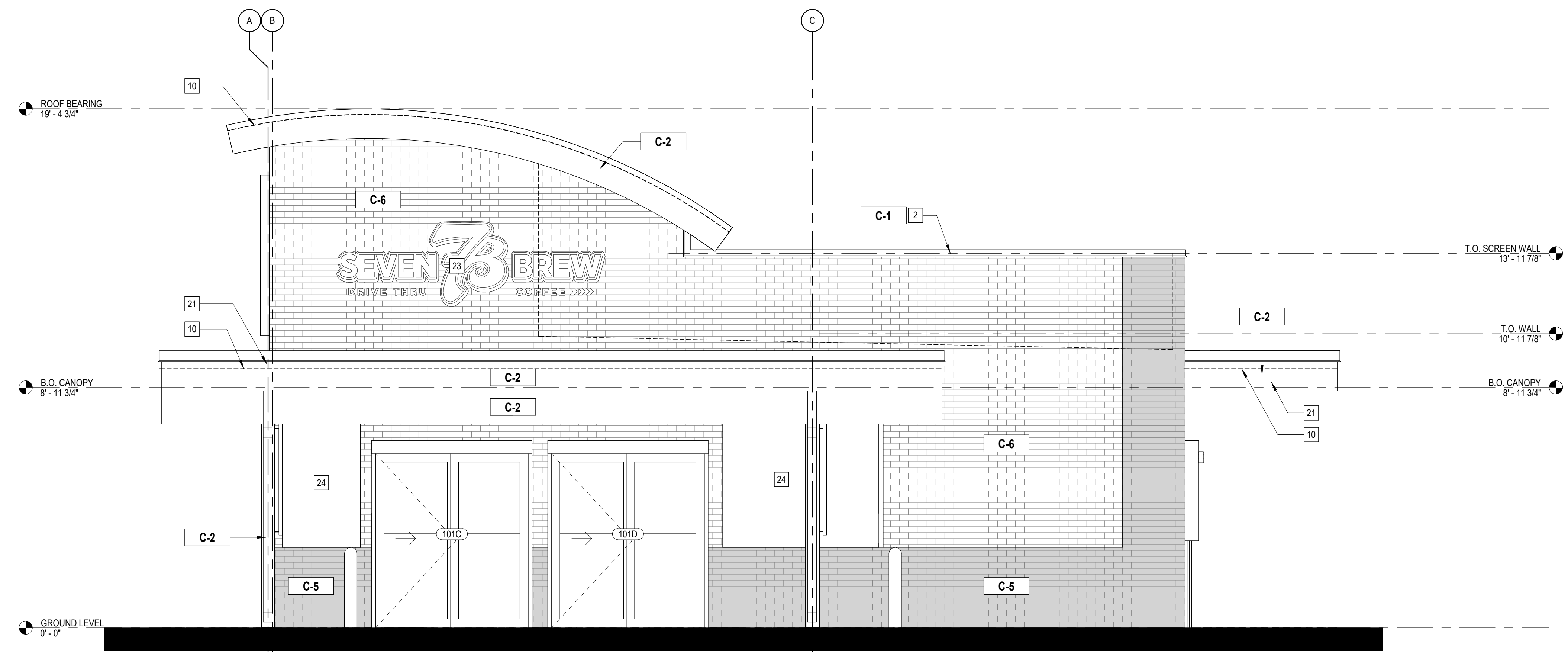
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PROJECT ARCHITECT: TNK  
DRAWN BY: Author

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

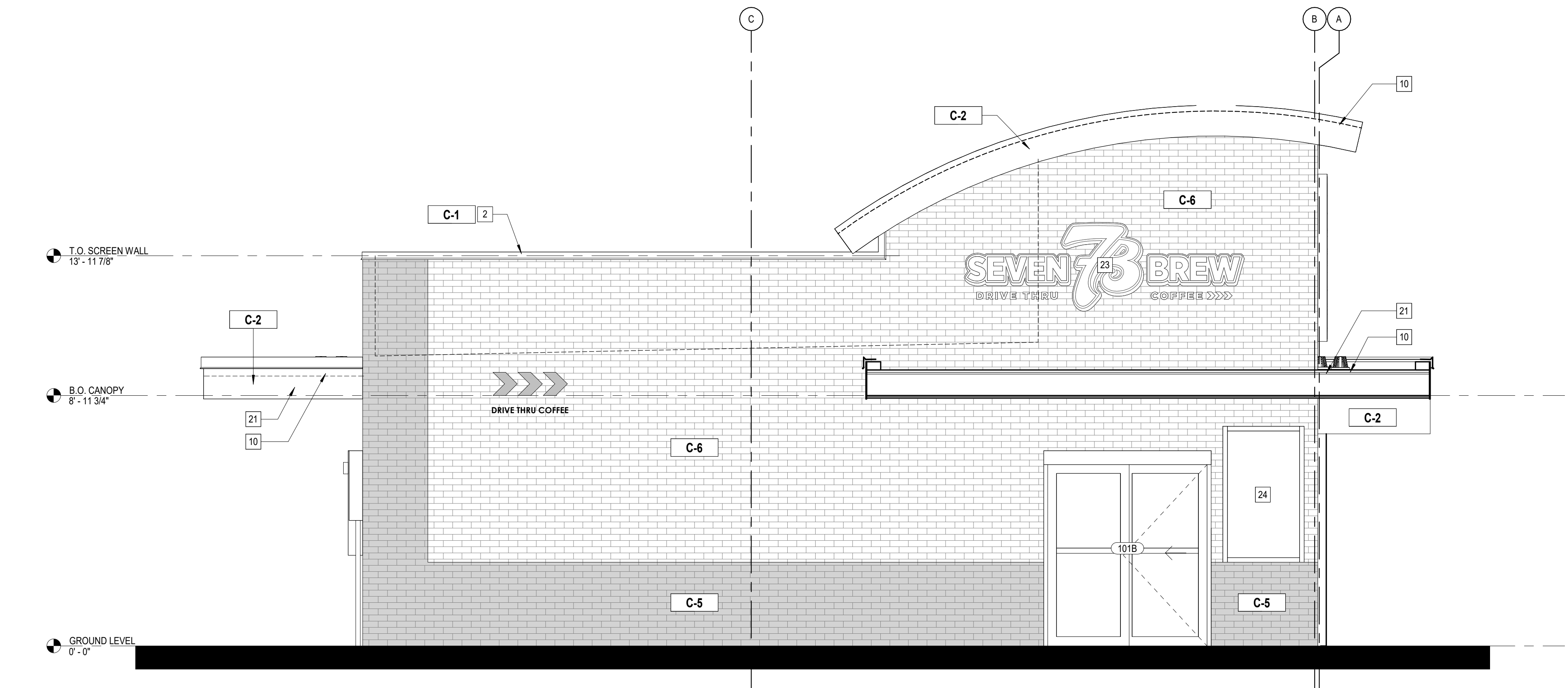
SHEET NO. PROJ. NO.  
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**A202**

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**B4**  
**A202**  
**EXTERIOR ELEVATION - LEFT SIDE**  
3/8" = 1'-0"



**A4**  
**A202**  
**EXTERIOR ELEVATION - RIGHT SIDE**  
3/8" = 1'-0"

### EXTERIOR ELEVATIONS GENERAL NOTES

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### EXTERIOR ELEVATIONS KEYNOTES

- 2 PREFINISHED METAL COPING. REF EXTERIOR ELEVATIONS FOR FINISH INFORMATION
- 10 LED FLEX LIGHT. SEE MEP
- 22 FAUX WINDOW
- 23 DOWNSPOUT

### FINISH SCHEDULE

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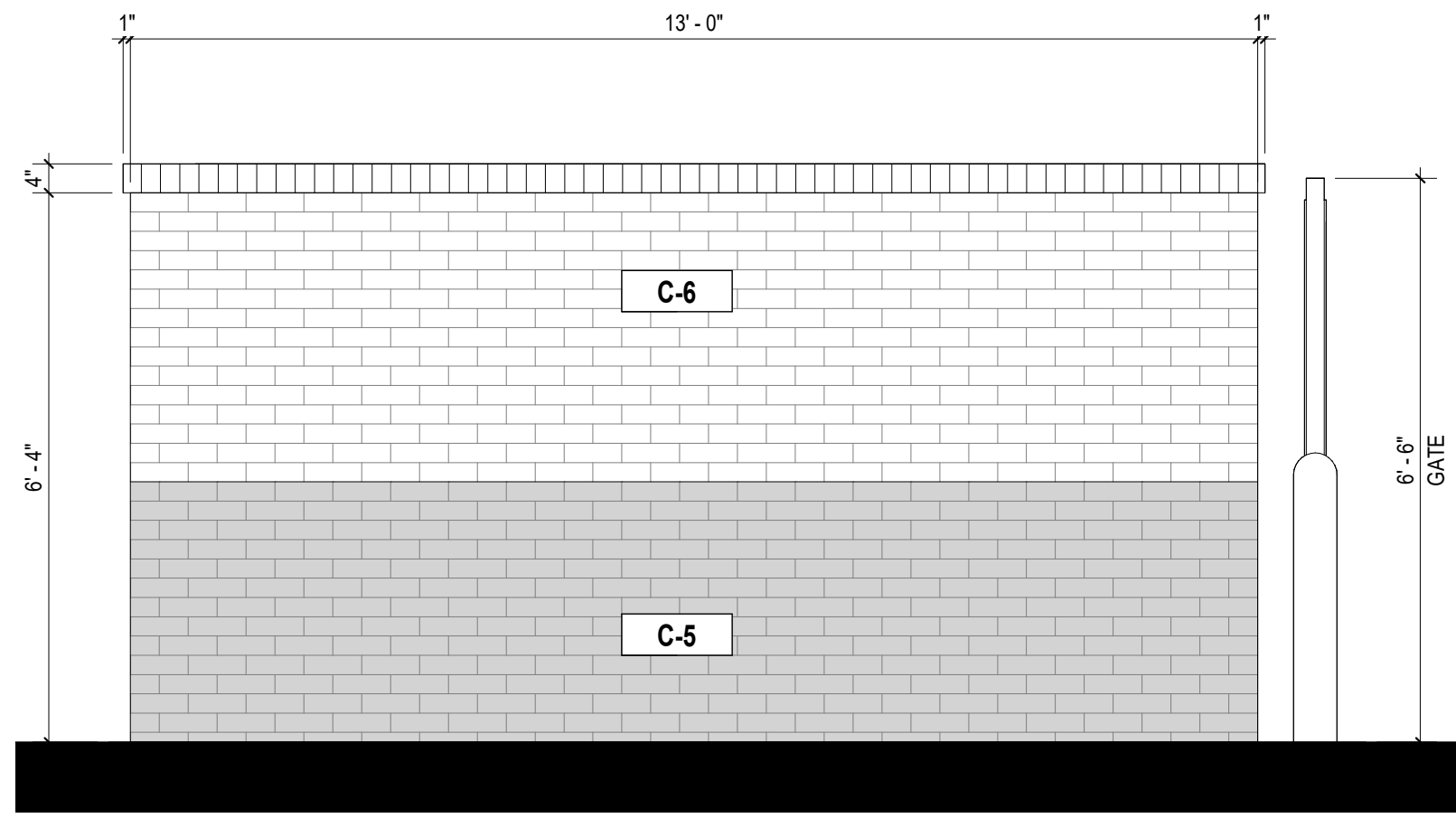
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PRINCIPAL IN CHARGE: TNK  
PROJECT ARCHITECT: TNK  
DRAWN BY: Author

SHEET TITLE:  
**WALK-IN COOLER & DUMPSTER ENCLOSURE ELEVATIONS**

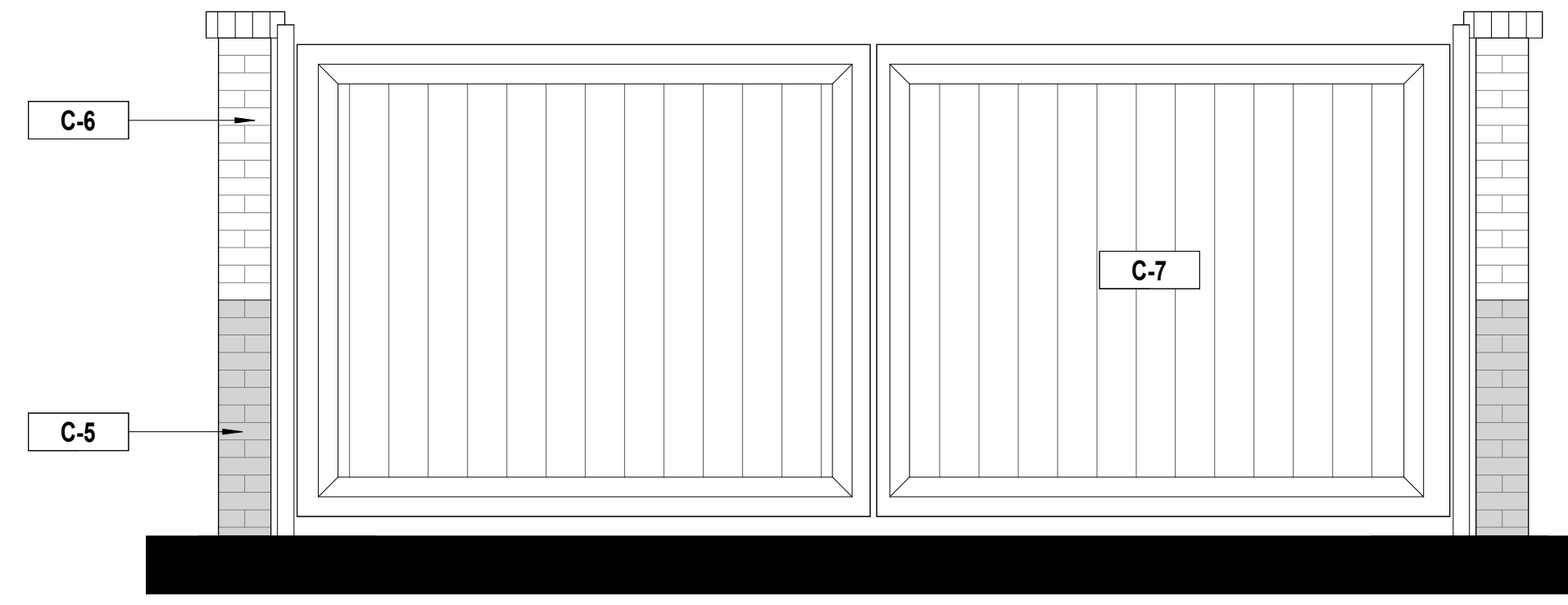
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# A203



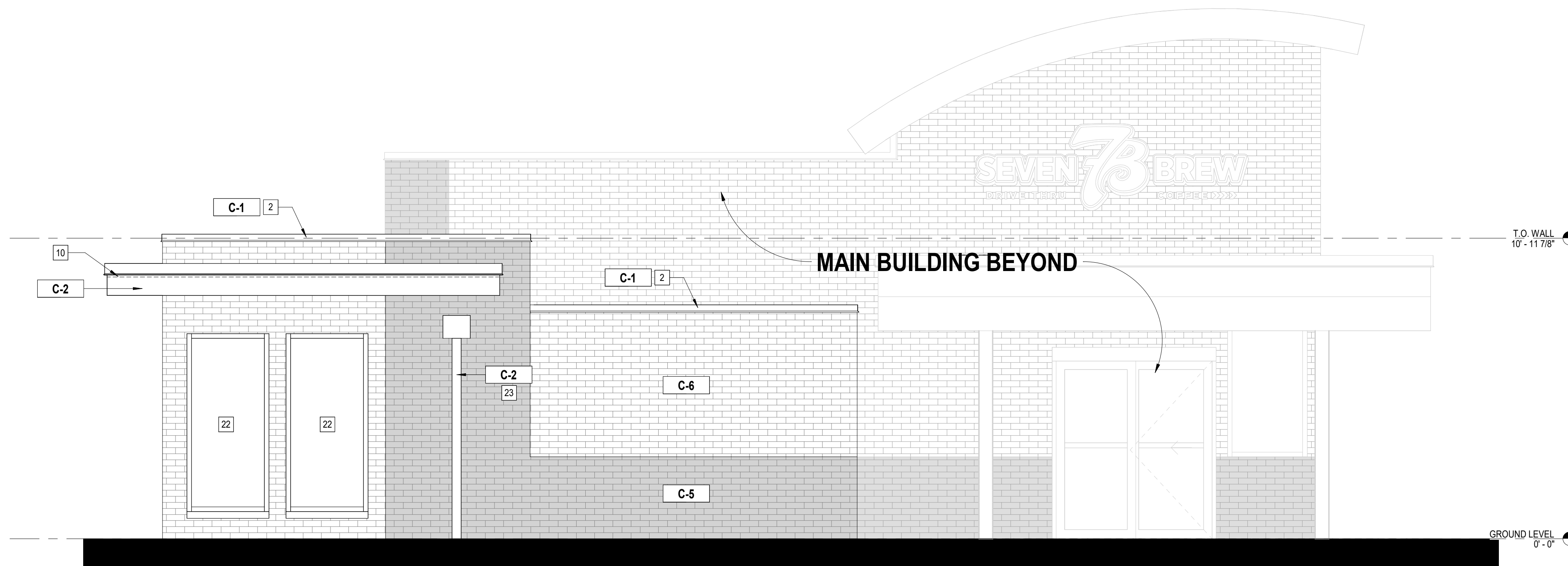
#### C4 TRASH ENCLOSURE - SIDE ELEVATION

1/2" = 1'-0"



#### 2 TRASH ENCLOSURE - FRONT ELEVATION

1/2" = 1'-0"



#### 1 WALK-IN COOLER ELEVATION

3/8" = 1'-0"

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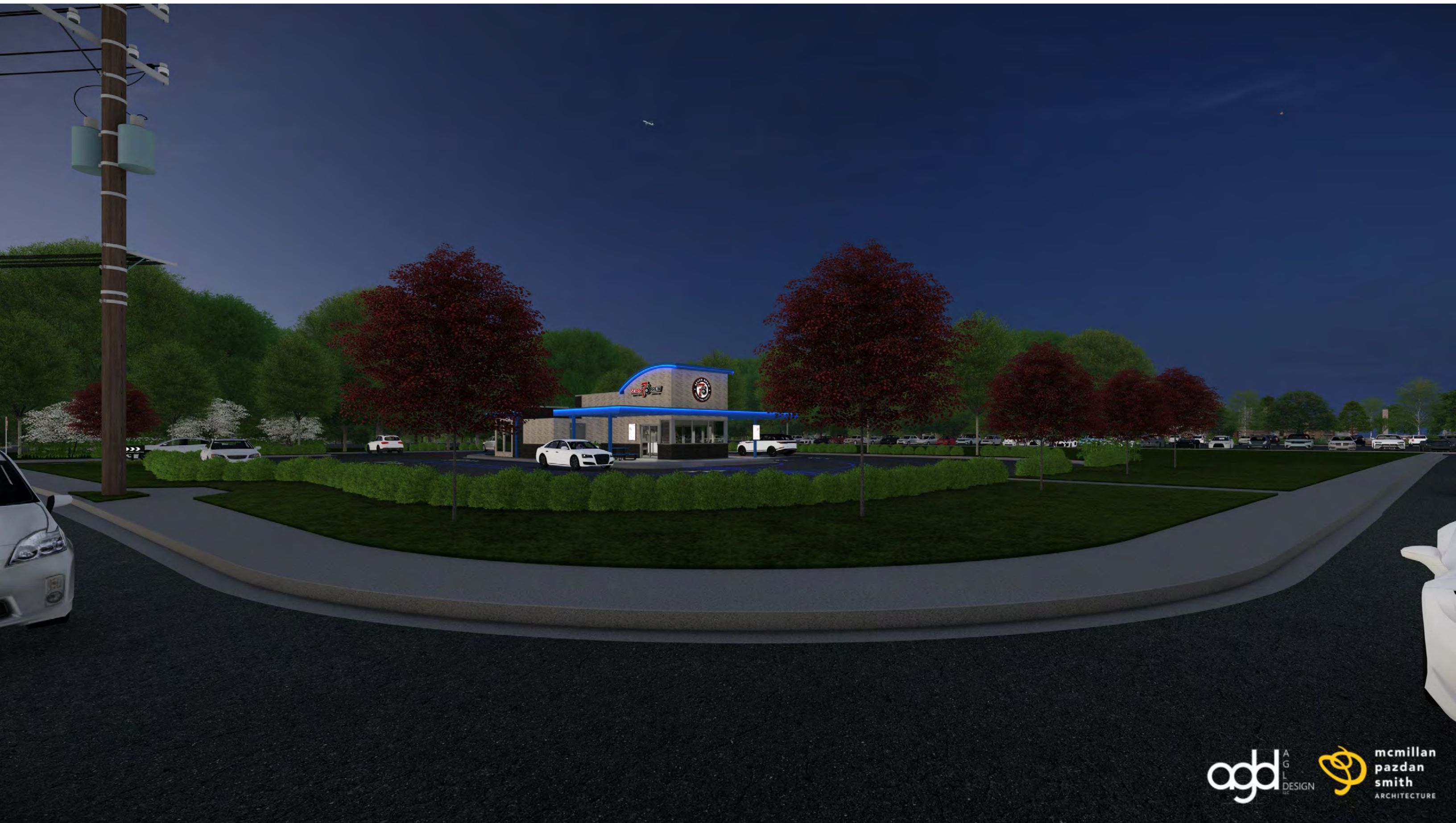






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SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING
<b>CANOPY TREES</b>							
	AO	6	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	2" CAL. 10' HT. MIN.	B&B	
	QS	3	QUERCUS SHUMARDII	SHUMARD OAK	2" CAL. 10' HT. MIN.	B&B	
	ZC	9	ZELKOVA SERRATA 'JFS-KWI'	QTY SPRITE® JAPANESE ZELKOVA	2" CAL. 10' HT. MIN.	B&B	
<b>UNDERSTORY TREES</b>							
	AA	2	AMELANCHIER ARBOREA	DOWNY SERVICEBERRY	2" CAL. 8' HT. MIN.	B&B	
	LN	2	LAGERSTROEMIA INDICA X FAURIEI 'NATCHEZ'	NATCHEZ CRAPE MYRTLE	2" CAL. 8' HT. MIN.	B&B	
<b>SHRUBS</b>							
	BC	86	BUXUS MICROPHYLLA 'COMPACTA'	DWARF LITTLELEAF BOXWOOD	3 GAL., MIN. 18"-21" HT. AND SPREAD	CONT.	36" o.c.
	HQ	15	HYDRANGEA QUERCIFOLIA	OAKLEAF HYDRANGEA	5 GAL. (MIN 24" HT)	CONT.	72" o.c.
	IB	26	ILEX CORNUTA 'BURFORDII NANA'	DWARF BURFORD HOLLY	3 GAL., MIN. 18"-21" HT. AND SPREAD	CONT.	36" o.c.
	IG	54	ILEX GLABRA	INKBERRY HOLLY	3 GAL., MIN. 18"-21" HT. AND SPREAD	CONT.	36" o.c.
	PO	6	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN ENGLISH LAUREL	5 GAL. (MIN 24" HT)	CONT.	72" o.c.
<b>RECOMMENDED PLANTER PLANTS</b>							
	AC	8	AZALEA X 'CONLEE'	AUTUMN AMETHYST® ENCORE® AZALEA	3 GAL., MIN. 12" HT.	CONT.	24" o.c.
	JH	27	JUNIPERUS HORIZONTALIS	CREeping JUNIPER	3 GAL. MIN 24" SPREAD	CONT.	36" o.c.

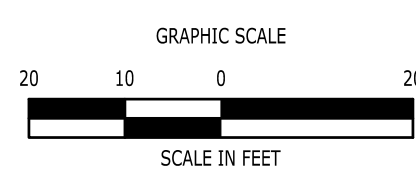
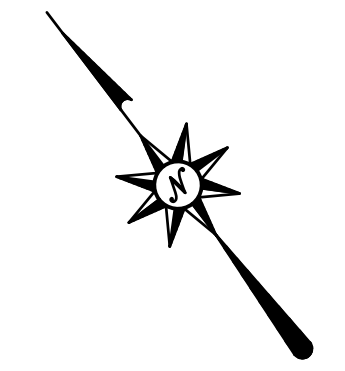
- NOTES:**
- ALL SUBSTITUTIONS MUST RECEIVE APPROVAL FROM THE LANDSCAPE ARCHITECT PRIOR TO DELIVERY TO SITE.
  - PROVIDE AND INSTALL ALL PLANTS SHOWN ON THE PLANTING PLAN DRAWINGS; THE QUANTITIES IN THE PLANT LIST ARE PROVIDED FOR THE CONTRACTOR'S CONVENIENCE ONLY. IF DISCREPANCIES OCCUR, THE LARGER QUANTITY SHALL APPLY.
  - IF THERE IS A DISCREPANCY BETWEEN BOTANICAL AND COMMON NAME, BOTANICAL NAME PREVAILS.
  - FOR ALL EXISTING PLANTING AREAS WITHIN THE PROPERTY LINE, THE CONTRACTOR IS RESPONSIBLE TO REPLACE DISEASED OR DEAD TREES AND SHRUBS WITH MATCHING SPECIES.

**ORDINANCE REQUIREMENTS - CITY OF CLEMSON**

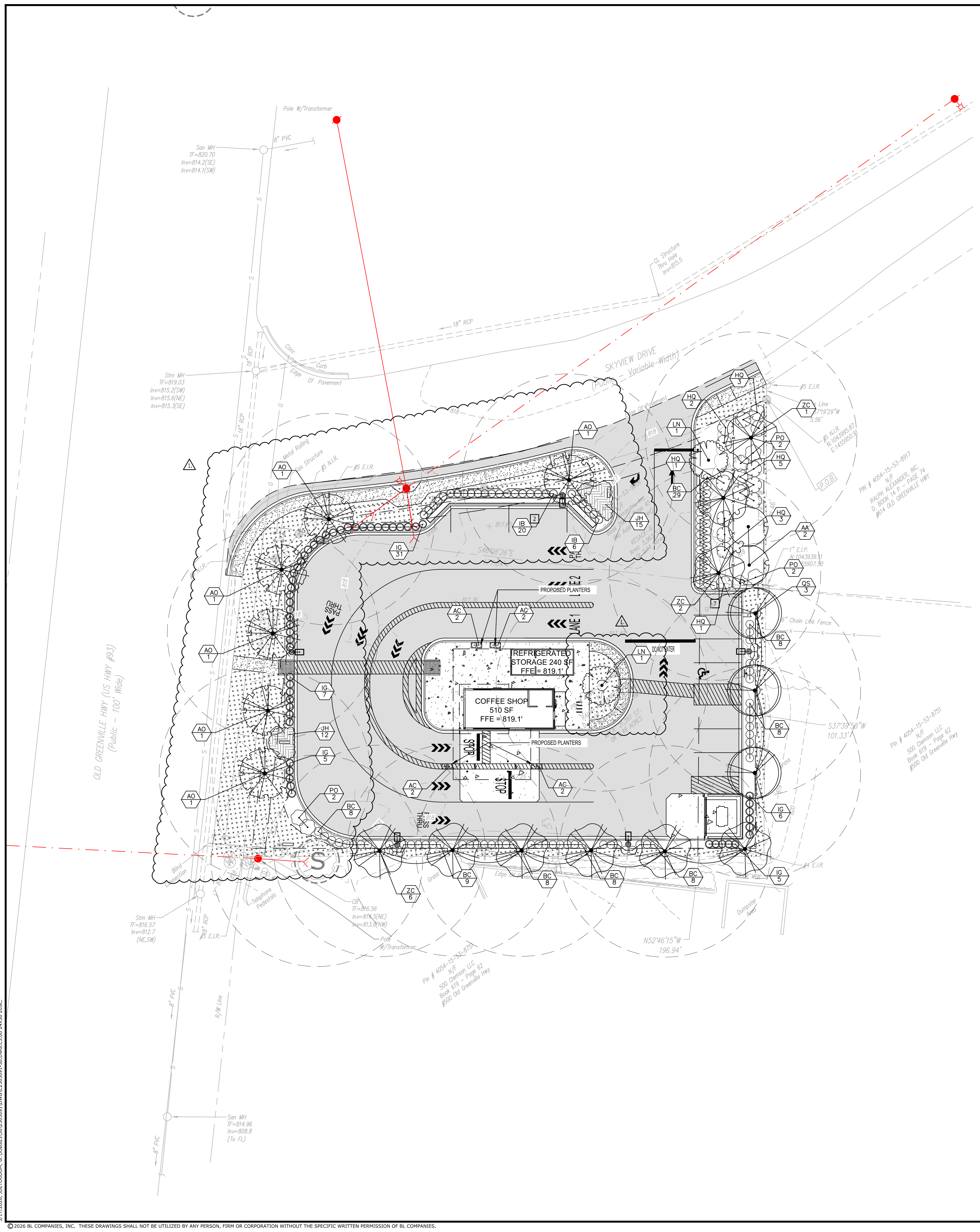
CHAPTER 19 ZONING	REQUIRED	PROPOSED	VARIANCE
Sec. 19-905. Buffer screening and landscape specification	G. Vehicular use area 10% VUA landscaped VUA 8 ft from ROW. 5 ft from other perimeter H. VUA landscaping all VUA within 40 ft of upstory tree trunk tree 4 ft from paving Shrubs within a landscape buffer abutting a street right-of-way or within a perimeter of the vehicle use area shall be arranged to form a continuous row K. Waste receptacles screening	17,117 sq ft VUA 1,711 VUA landscape area 1,663 sq ft VUA landscape area all VUA within 40 ft of upstory tree trunk fulfilled dumpster screening	NO NO NO
Sec. 19-906. Existing vegetation	N/A. no tree on site. only canopy projected from neighboring properties	N/A	NO
Sec. 19-907. Bufferyard and screening requirements.	Commercial to Commercial: 5' Type A Commercial to R20: 25' Type C	SW PIN 8751 (Commercial) 195 ft Buffer A 6 canopy trees 39 shrubs SE PIN 8751 (Commercial) 100 ft Buffer A 3 canopy trees 20 shrubs SE PIN 8917 71 ft Buffer C 3 canopy trees 3 understory trees 6 ft solid wood fence 48 shrubs	NO NO NO

**LANDSCAPE PLAN LEGEND**

- PROPERTY LINE
- LOD
- LIMIT OF DISTURBANCE
- PLANTING BEDLINE
- PROVIDE AND INSTALL SOD
- PROPOSED TREE PROTECTION  
SEE DETAIL ON SHEET C5.10
- 40 FT ROL. TREE TRUNK FROM V.U.A.



FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION

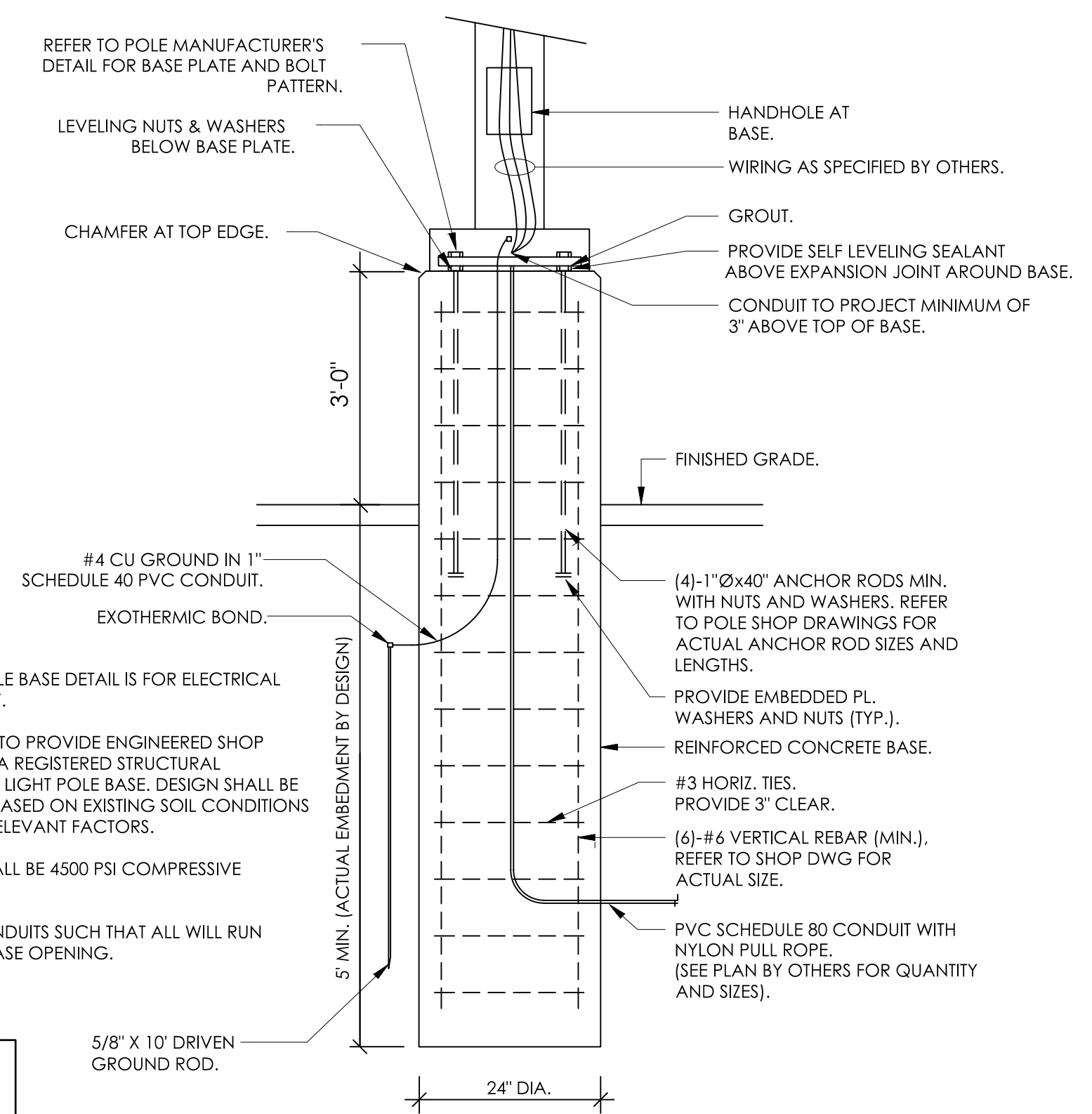


# LIGHTING NOTES

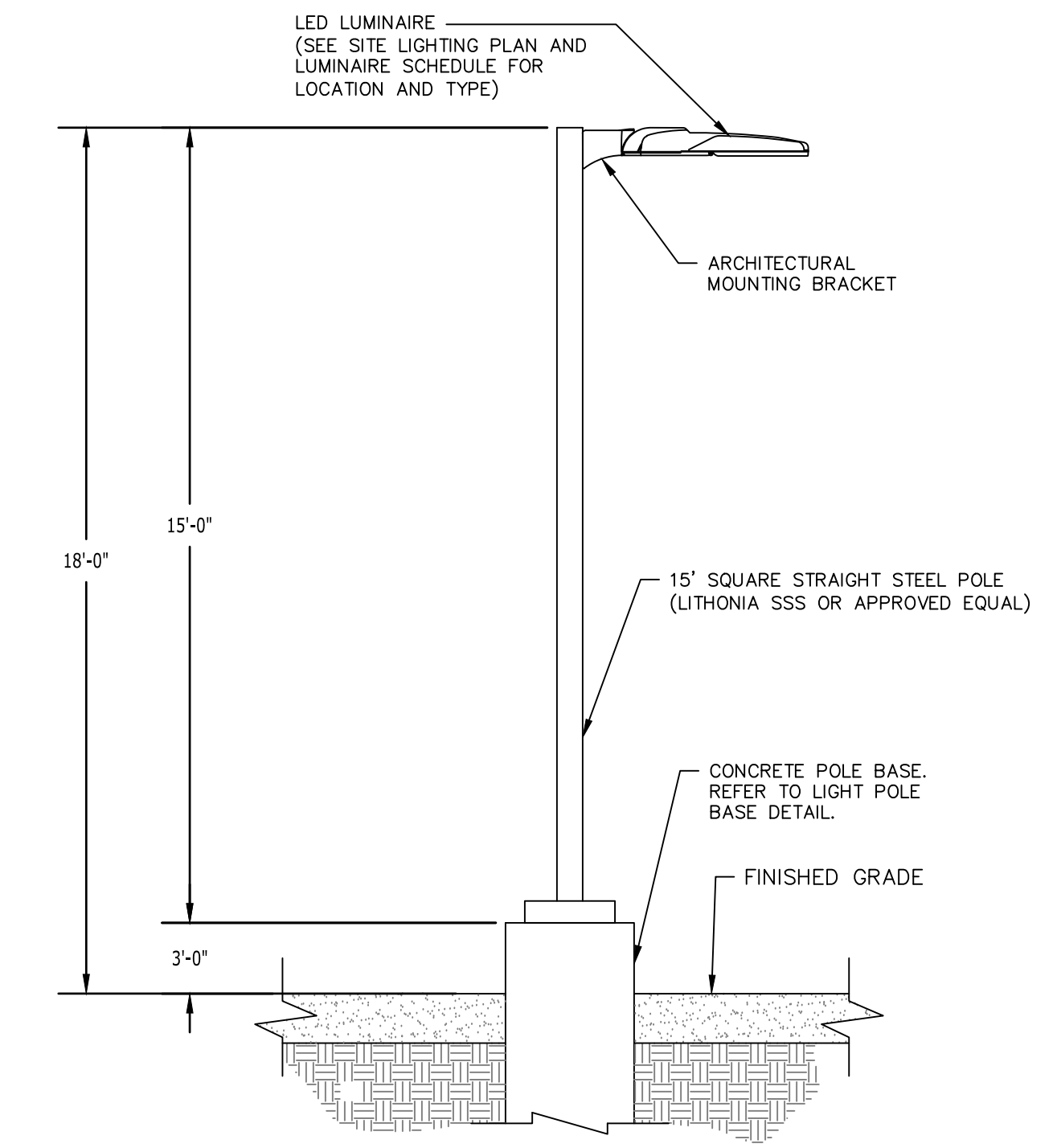
- ALL WORK SHALL BE DONE IN STRICT ACCORDANCE WITH ALL REQUIREMENTS OF ANY LOCAL APPLICABLE CODES OR ORDINANCES, PUBLIC UTILITY COMPANY REGULATIONS, STATE CODE, AND NATIONAL ELECTRICAL CODE WITH INTERIM AMENDMENTS THERETO.
- ALL MATERIALS SHALL CONFORM TO THE LATEST ISSUE OF ALL APPLICABLE STANDARDS AS ESTABLISHED BY EEL, NEMA, ASTM, IPCA, NATIONAL BOARD OF FIRE UNDERWRITERS, AND UNDERWRITERS LABORATORIES, INC.
- THE CONTRACTOR SHALL TEST THE LIGHTING AFTER INSTALLATION WITH THE DEVELOPER/OWNER, AND PROVIDE TO DEVELOPER/OWNER WARRANTY AND MAINTENANCE INFORMATION. THE CONTRACTOR SHALL MAKE ADJUSTMENTS AND/OR MODIFICATIONS AS REQUIRED BY THE DEVELOPER/OWNER TO OBTAIN EVEN LIGHT DISTRIBUTION.
- CONTRACTOR SHALL LEAVE ENTIRE ELECTRICAL SYSTEM INSTALLED BY THE CONTRACTOR IN PROPER WORKING CONDITION AND REPLACE WITHOUT ADDITIONAL CHARGE ALL WORK OR MATERIALS WHICH MAY DEVELOP DEFECTS WITHIN A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE BY THE OWNER.
- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF ALL PRODUCTS, BASES AND CONDUITS TO SITE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO DELIVERY OF MATERIAL TO SITE. ALLOW A MINIMUM OF 14 WORKING DAYS FOR REVIEW. IF ALTERNATIVE LIGHTING IS PROPOSED SUBMIT A PHOTOMETRIC FOOT-CANDLE LAYOUT ALONG WITH ANNUAL MAINTENANCE REQUIREMENTS AND ANTICIPATED COSTS.
- LIGHTS ARE DESIGNED TO PROVIDE EVEN LEVELS OF ILLUMINATION AND AVOID GLARE ONTO NEIGHBORING PROPERTIES. FINAL DESIGN MAY VARY PENDING MANUFACTURER'S RECOMMENDATIONS.
- ALL LIGHTING CONTROLS, PANELS, CIRCUIT BREAKERS ETC. ARE TO BE PROVIDED UNDER A SEPARATE CONTRACT BY BUILDING CONTRACTOR. CAREFUL COORDINATION IS REQUIRED BETWEEN SITE CONTRACTOR AND BUILDING CONTRACTOR TO PROVIDE A COMPLETE INSTALLATION FOR SITE LIGHTING.
- THE CONTRACTOR WILL PROVIDE AND INSTALL ALL MATERIAL NECESSARY TO COMPLETE THE SITE LIGHTING SYSTEM INCLUDING BUT NOT LIMITED TO CONDUIT, BASES, ANCHOR BOLTS, POLES, SITE LIGHTS AND LAMPS. THE CONTRACTOR WILL COORDINATE WIRING AND POWERING OF LIGHTS WITH OWNER, ARCHITECT, AND BUILDING CONTRACTOR IF DIFFERENT FROM THE SITE CONTRACTOR.
- ALL LIGHTS TO BE AS LISTED IN SCHEDULE OR APPROVED EQUIVALENT. LIGHTS SHALL BE MOUNTED ON SQUARE STRAIGHT STEEL POLES ATOP CONCRETE BASES THAT ARE SET 3' (CLEAR) BEHIND CURBS UNLESS OTHERWISE INDICATED ON CONTRACT DRAWINGS. ILLUMINATION ANALYSIS MODELED USING LIGHTING FIXTURES LISTED IN SCHEDULE.
- LIGHT POLES AND BRACKETS TO BE AS SHOWN ON DETAILS OR APPROVED EQUIVALENT.
- WIRE AND CABLE SHALL BE COPPER AND CONFORM TO THE FOLLOWING NEC TYPE THHN/THWN SOLID FOR NO. 12 AND NO. 10, NEC TYPE THHN/THWN STRANDED FOR NO. 8 AND LARGER. RIGID STEEL CONDUIT SHALL BE GALVANIZED. FITTINGS SHALL BE CAST FERROUS MATERIAL WITH A CADMIUM OR ZINC PLATED FINISH.
- ALL EQUIPMENT SHALL BE GROUNDED AND BONDED IN ACCORDANCE TO NEC.
- ANY POLES THAT ARE NOT LOCATED ON INACCESSIBLE OR LANDSCAPED AREAS MUST BE PAINTED SAFETY YELLOW AT THE LIGHT POLE BASE. LIGHT POSTS SHALL BE ALIGNED WITH PARKING STRIPES.
- CANOPY LIGHTING, STRIP LIGHTING, AND MENU BOARDS MUST BE TURNED OFF OUTSIDE OF OPERATIONAL HOURS.
- REAR FACING EMERGENCY LIGHT AND SITE LIGHTING TO REMAIN ON OUTSIDE OF OPERATIONAL HOURS.

Symbol	Label	QTY	Manufacturer	Catalog	Description	Filename	Lamp Output	LLF	Input Power	Distribution	
☐	P1	5	Lithonia Lighting	DSX1 LED P2 40K 80CRI T4M HS	D-Series Size 1 Area Luminaire P2 Performance Package 4000K CCT 80 CRI Type 4 Medium Houseside Shield	DSX1_LED_P2_4_0K_80CRI_T4M_HS.HS	7821	0.9	67.7927	TYPE IV, MEDIUM, BUG RATING: B1 - U0 - G2	
—	ULTRA NEON FLEX LIGHT MOUNTED TO BUILDING										

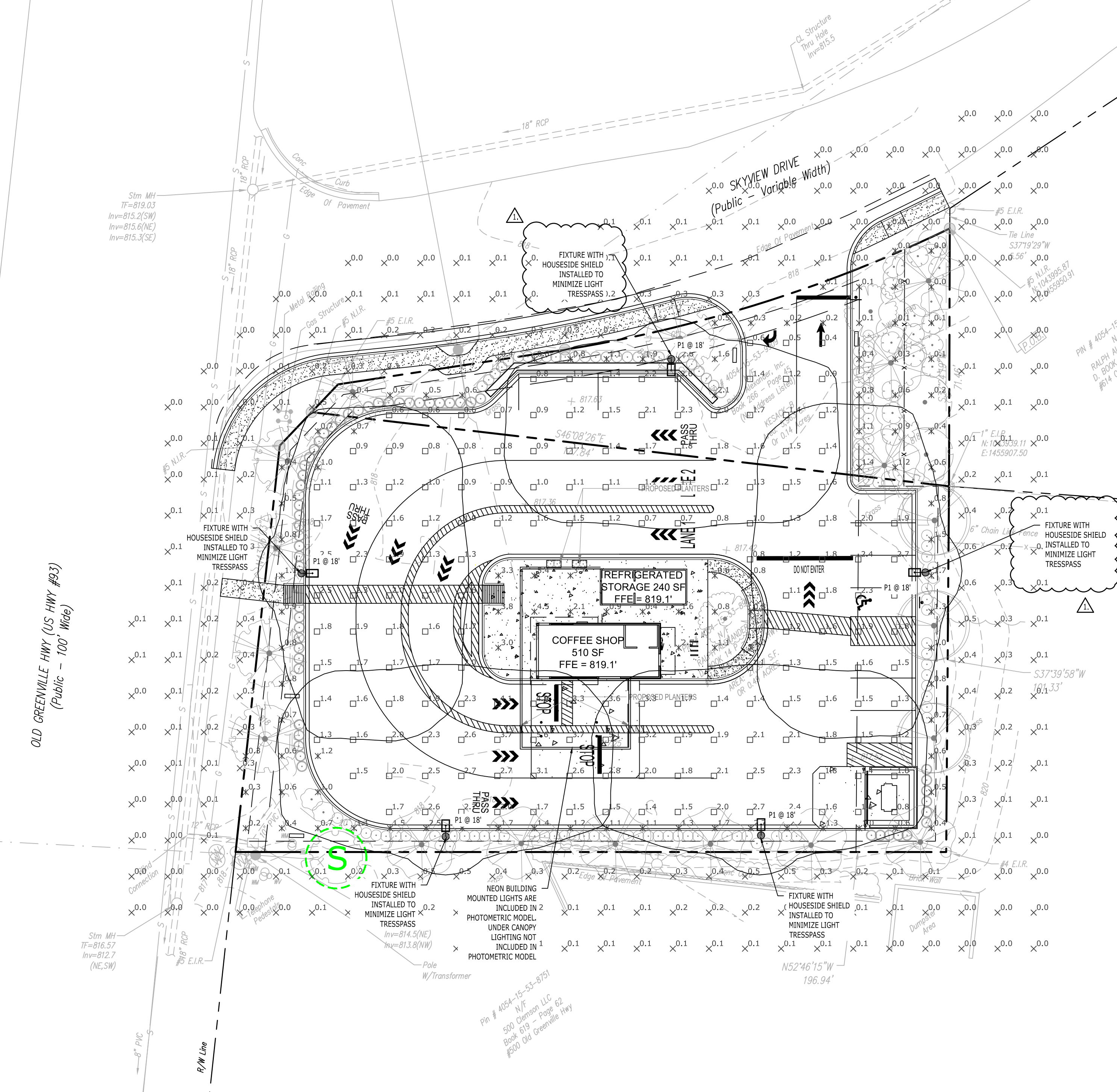
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
SITE/LANDSCAPE	✗	1.1 fc	5.4 fc	0.0 fc	N/A	N/A
SPILL	✗	0.1 fc	0.6 fc	0.0 fc	N/A	N/A
PARKING/DRIVE-THRU	☐	1.7 fc	5.6 fc	0.4 fc	14.0:1	4.3:1



TYPICAL CONCRETE LIGHT POLE BASE DETAIL  
N.T.S



LUMINAIRE MOUNTING DETAIL  
N.T.S



### D-Series Size 1 LED Area Luminaire

**Specifications**

- EPA: 0.69 ft (0.06 m)
- Length: 32.71" (83.1 cm)
- Width: 14.26" (36.2 cm)
- Height H1: 7.88" (20.0 cm)
- Height H2: 2.73" (6.9 cm)
- Weight: 34 lbs (15.4 kg)

**Introduction**

The modern styling of the D-Series features a highly refined aesthetic that blends seamlessly with its environment. The D-Series offers the benefits of the latest in LED technology into a high performance, high efficacy, long-life luminaire.

The photometric performance results in sites with excellent uniformity, greater pole spacing and lower power density. D-Series outstanding photometry aids in reducing the number of poles required in area lighting applications with typical energy savings of 65% and expected service life of over 100,000 hours.

### ULTRA NEON FLEX

**OVERVIEW**

Applications: Indoor/Outdoor IP65  
Efficacy: 70-90lm/W  
Dimming: TRIAC  
LED Type: SMD2835  
Operating Temp: -4° to 113° F  
Lifespan: 50,000 hours  
Warranty: 5 years (Indoors)  
3 years (Outdoors)

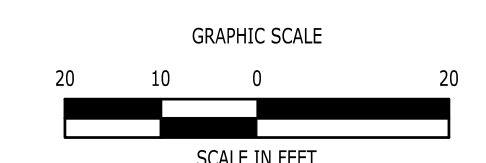
Top Bend	White	Red	Green	Blue	Amber	Pink
Side Bend	285lm/ft	285lm/ft	175lm/ft	200lm/ft	118lm/ft	98lm/ft
Side Bend	120lm/ft	141lm/ft	83lm/ft	101lm/ft	57lm/ft	47lm/ft

**FEATURES**

- Uniform, dot-free and smooth neon light up to 164ft (50m) of run length.
- Driverless design with on-board constant current IC driver and rectifier.
- Direct AC power supply with external driver.
- Thick silicone jacket insures electrical safety by ETL and RoHS standards.
- Environmentally-friendly silicone, bend flexibility, impact resistant and inclement weather resistant.
- Advanced silicone extrusion technology.

SARIN's Ultra Neon Flex (UNF) is a cutting-edge LED solution designed for both functionality and safety. Its patented driverless design features an on-board constant current driver, allowing for a direct AC power supply without the need for an external driver. The UNF is TRIAC dimmable, offering seamless compatibility with standard dimming systems to create the perfect ambience. Built to withstand the elements, the UNF boasts an IP65 rating for superior resistance to dust and water, making it ideal for indoor and outdoor use.

FOR PERMITTING PURPOSES ONLY  
NOT RELEASED FOR CONSTRUCTION



REVISIONS

No.	Date	REVISION PER BAR COMMENTS AND PROPOSED DRIVEWAY
1	03/20/2026	REMOVED

Designed: J.S.D.  
Drawn: J.S.D.  
Reviewed: A.J.B.  
Scale: 1"=20'  
Project No: 2503091  
Date: 02/04/2026  
CAD File: C2503091-60

Title: LIGHTING PLAN

Sheet No.

C6.00



614 Old Greenville Hwy  
Clemson, SC 29631

01/21/2026\_(JD/JSC)  
7BREW\_CLEMSON\_SC\_A

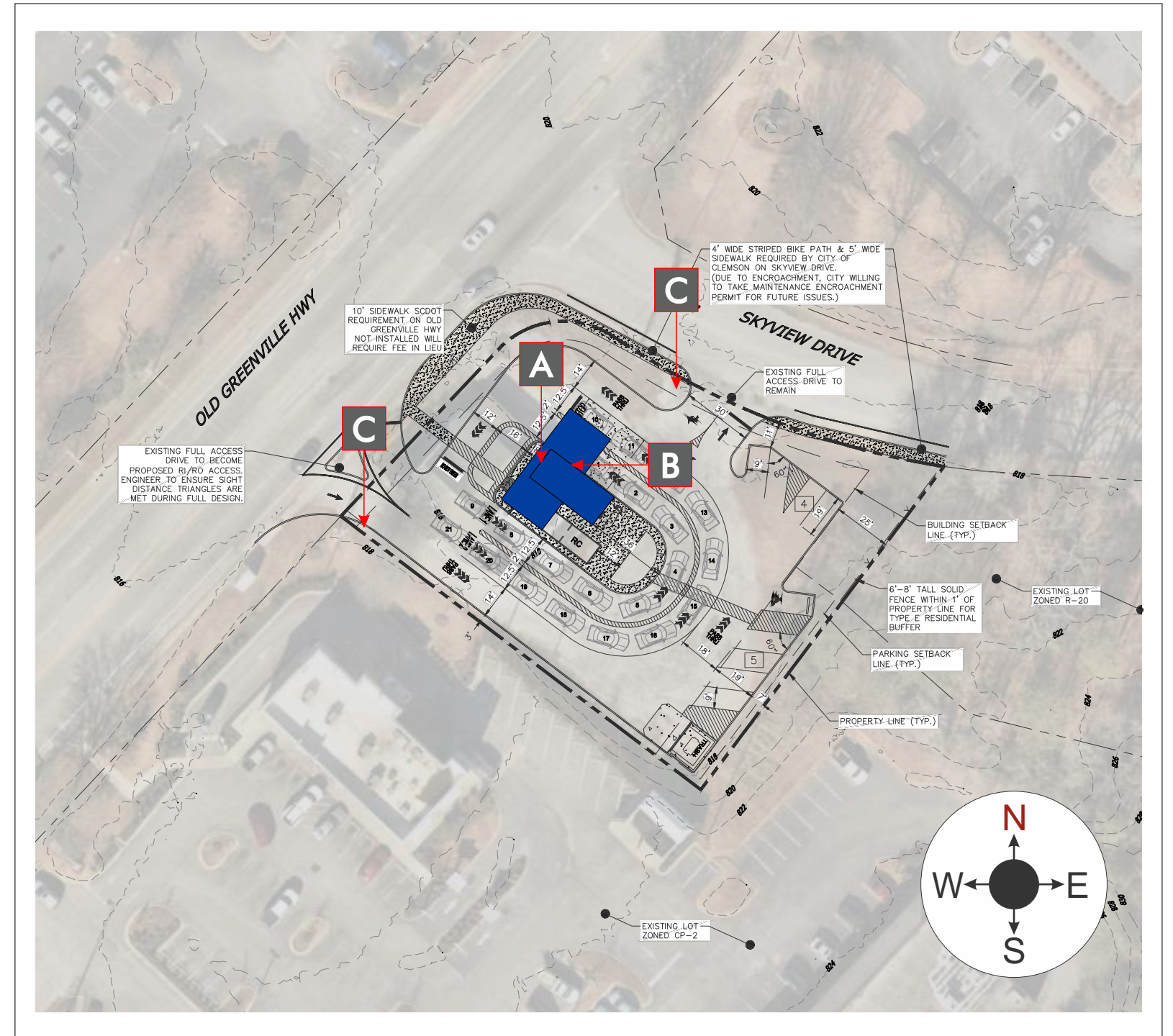
## Revision History

Revision Level	Date	Revision Description
A	01/21/26	- INITIAL NTI BRANDBOOK RELEASE

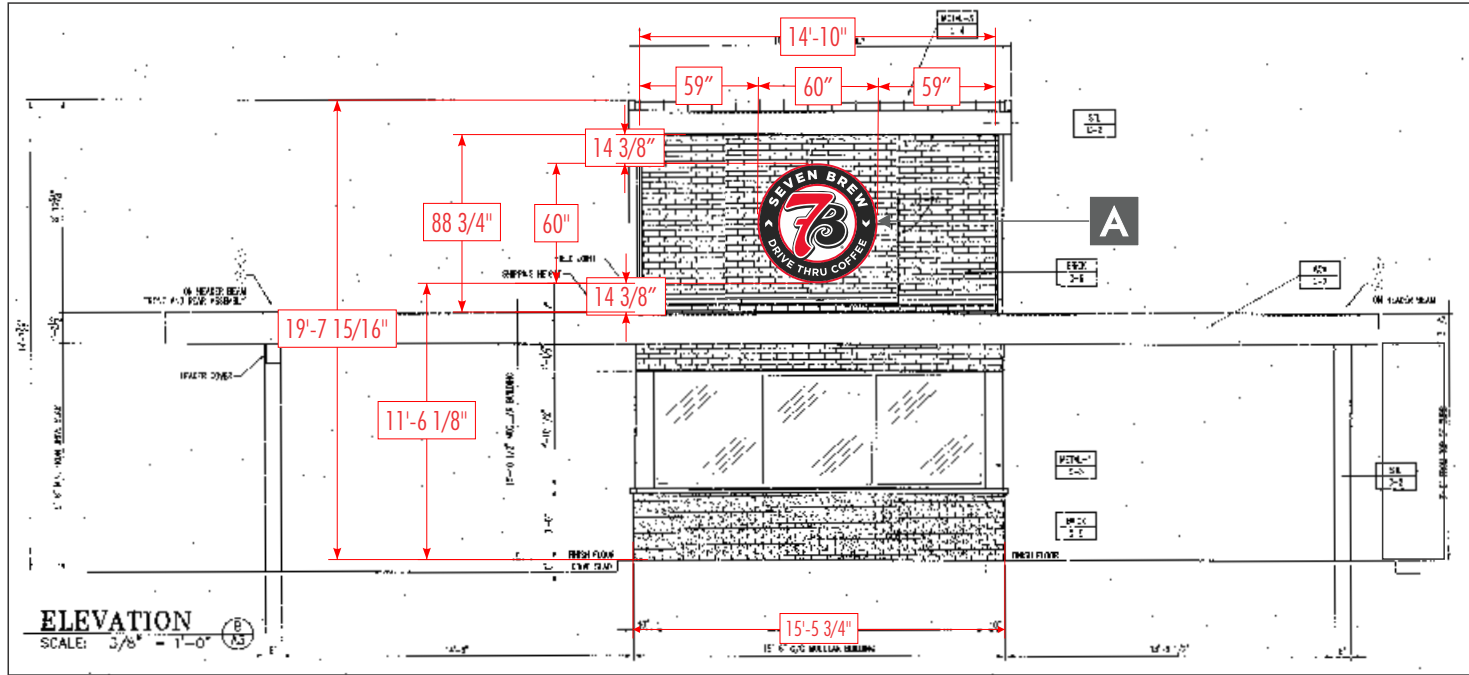
# Site Overview

## SCOPE OF WORK

SIGN	QTY	DESCRIPTION	SQ FT
<b>WALL SIGNS</b>			
A	1	5' ILLUMINATED DISC LOGO	19.64
B	1	3'-0" X 10'-0" CHANNEL LETTERS	32.08
<b>DIRECTIONALS</b>			
C	2	3' X 3' DF LED IL DIRECTIONAL SIGN	4.50

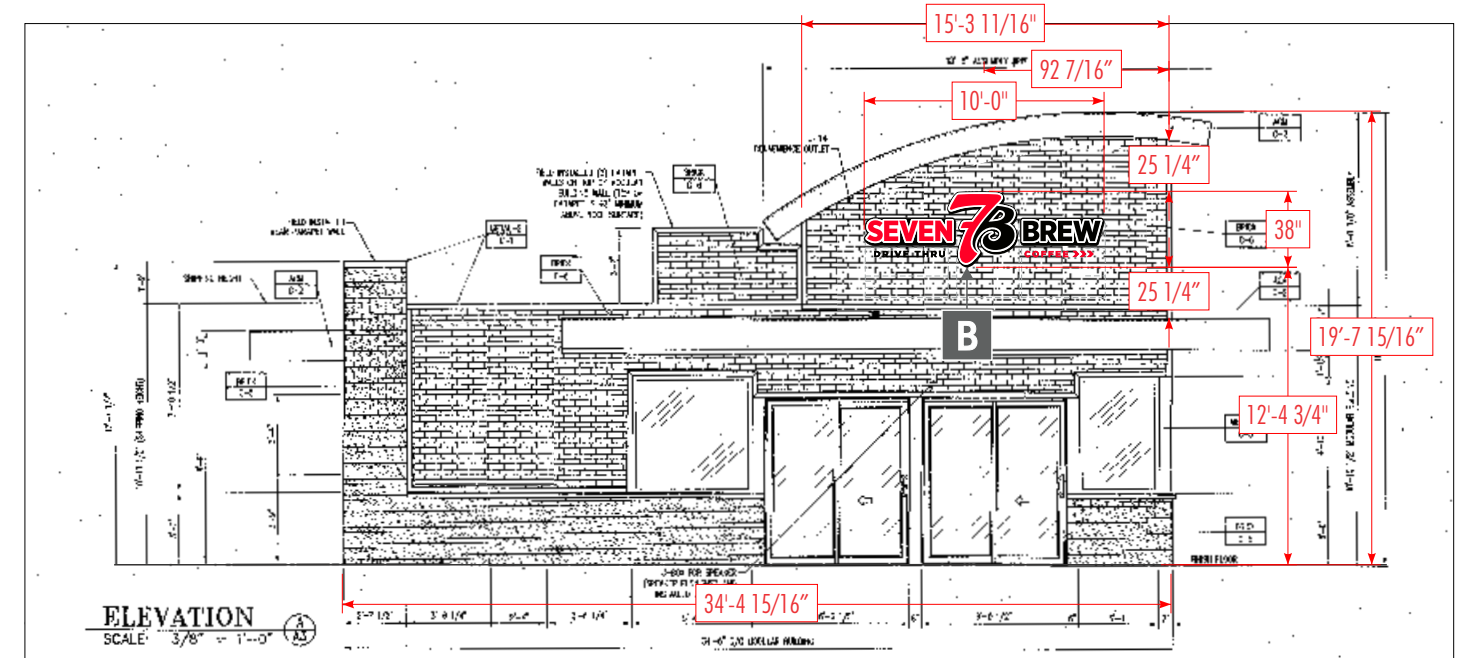


# Building Elevations



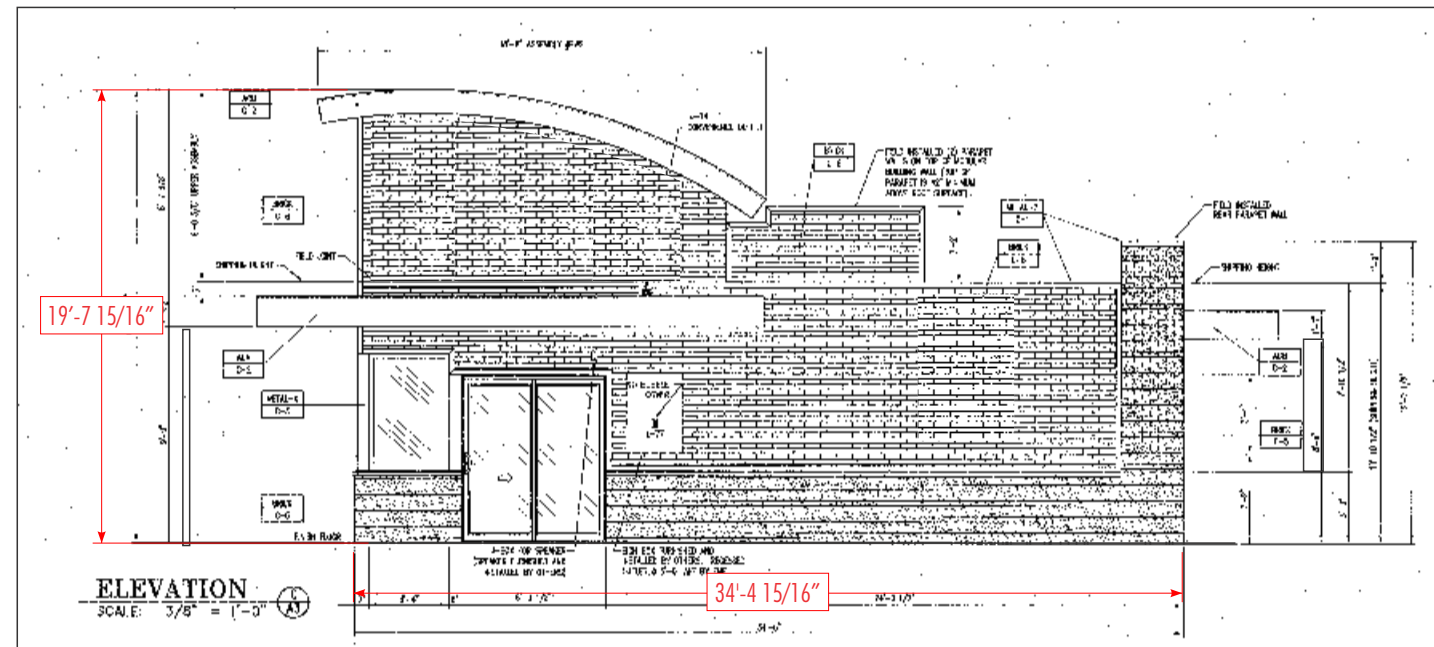
**NORTHWEST ELEVATION**

Elevation Size: 19.66'H x 15.47'W = 304.14SF x 10% = 30.41SF Allowed



**NORTHEAST ELEVATION**

Elevation Size: 19.66'H x 34.41'W = 676.50SF x 10% = 67.65SF Allowed



**SOUTHWEST ELEVATION**

ANY PENETRATIONS DEEMED NECESSARY REQUIRE COORDINATION WITH ROOFING CONTRACTOR TO PREVENT VOIDING ANY CUSTOMER WARRANTY.

DIMENSIONS TO BE VERIFIED PRIOR TO MANUFACTURING

THIS RENDERING IS FOR REFERENCE AND PERMITTING PURPOSES ONLY  
ANY SEPARATE OR OPTIONAL COMPONENTS MUST BE ORDERED SEPARATELY

ALL ELECTRICAL SIGNS WILL COMPLY WITH UL 48 - UL FILE #E46729

SCALE: 1:96

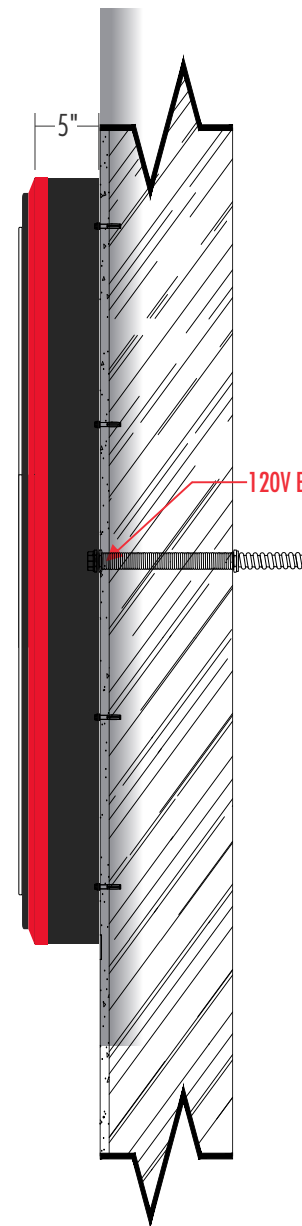
# Channel Disc Logo

5' DIA. ILLUMINATED CHANNEL DISC LOGO

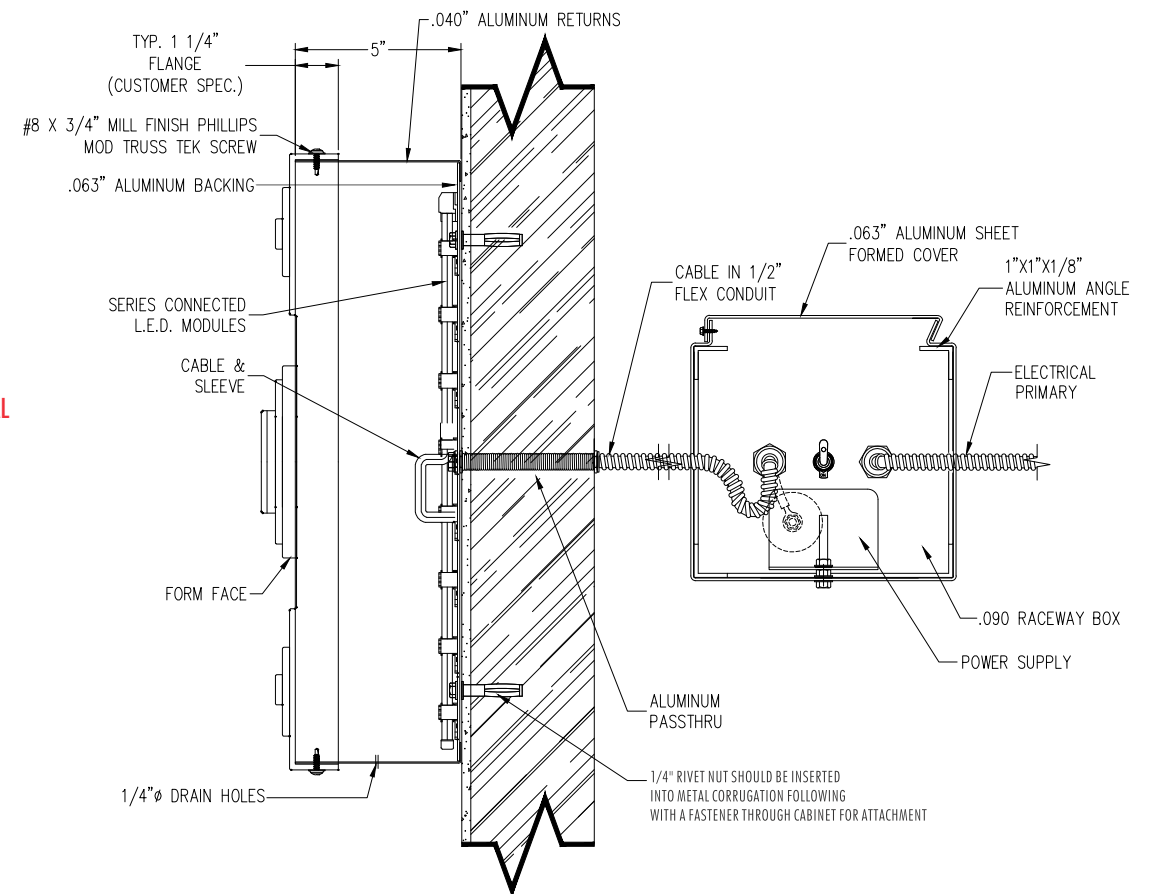
19.64 Sq.Ft



FRONT VIEW  
REF. PART # : SBCZC60X60E02



SIDE VIEW



SECTION VIEW



NIGHT ILLUMINATION VIEW

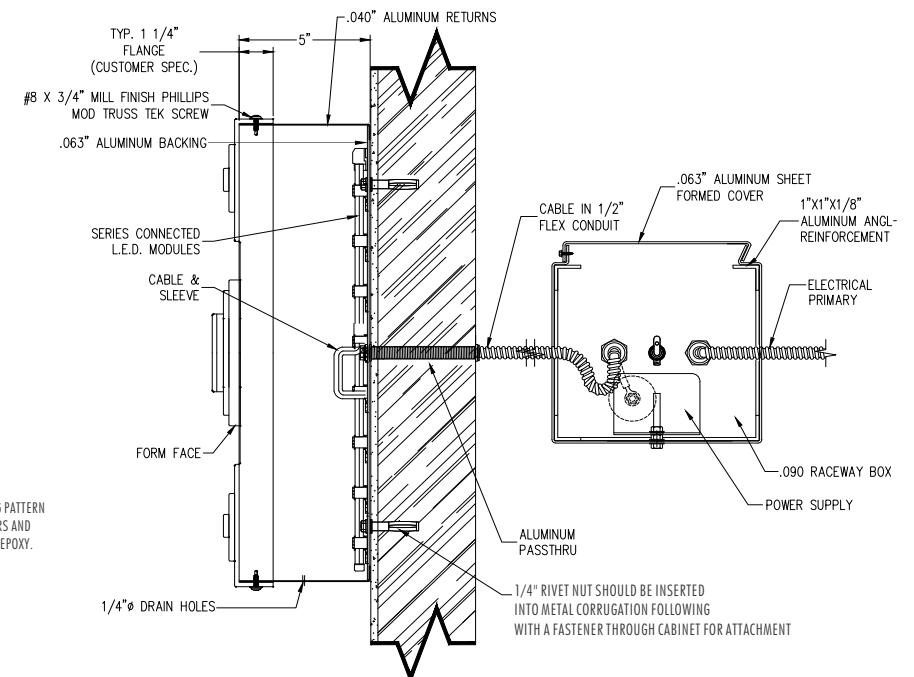
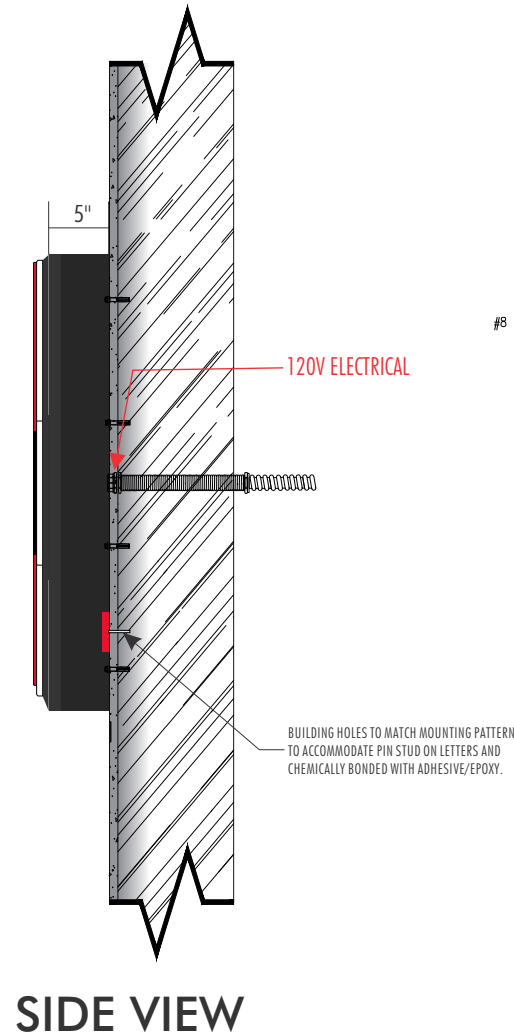
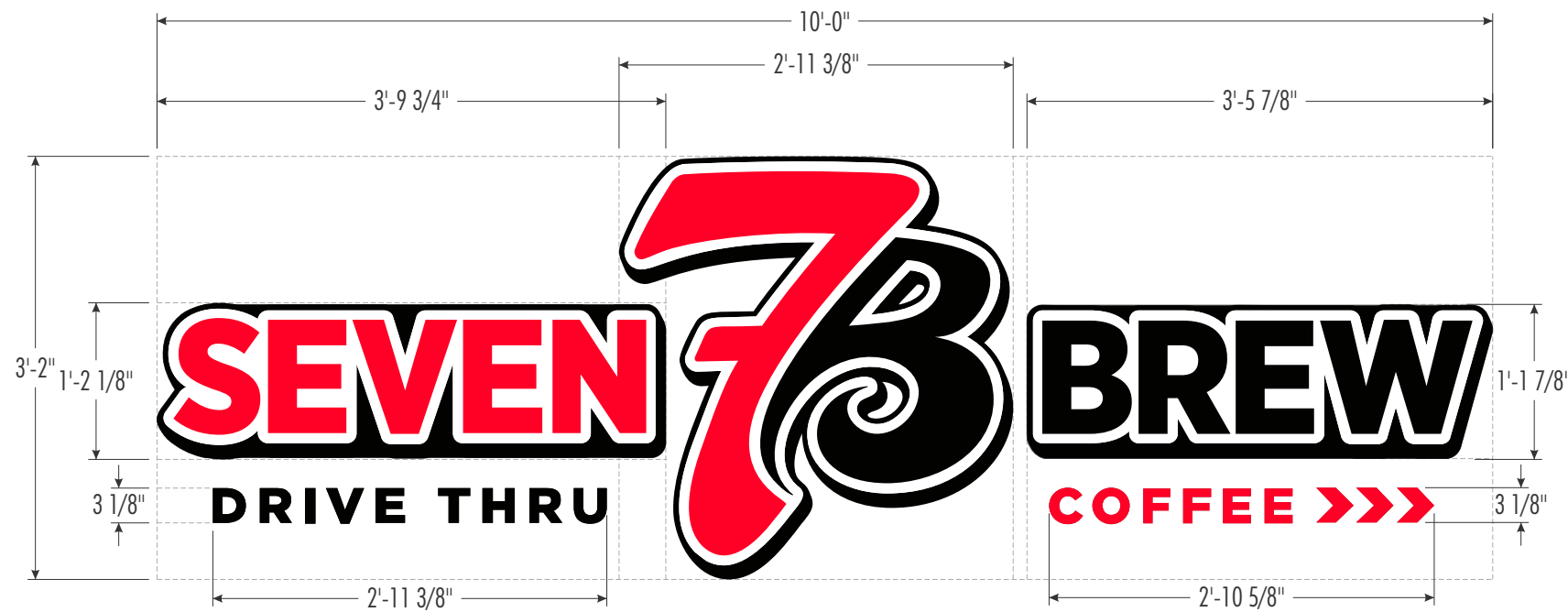
B

# Standard Building Linear Cloud Sign

Qty: 1

3'-0" X 10'-0" CHANNEL LETTERS W/ STUD MOUNT ACRYLIC LETTERS

32.08 Sq.Ft

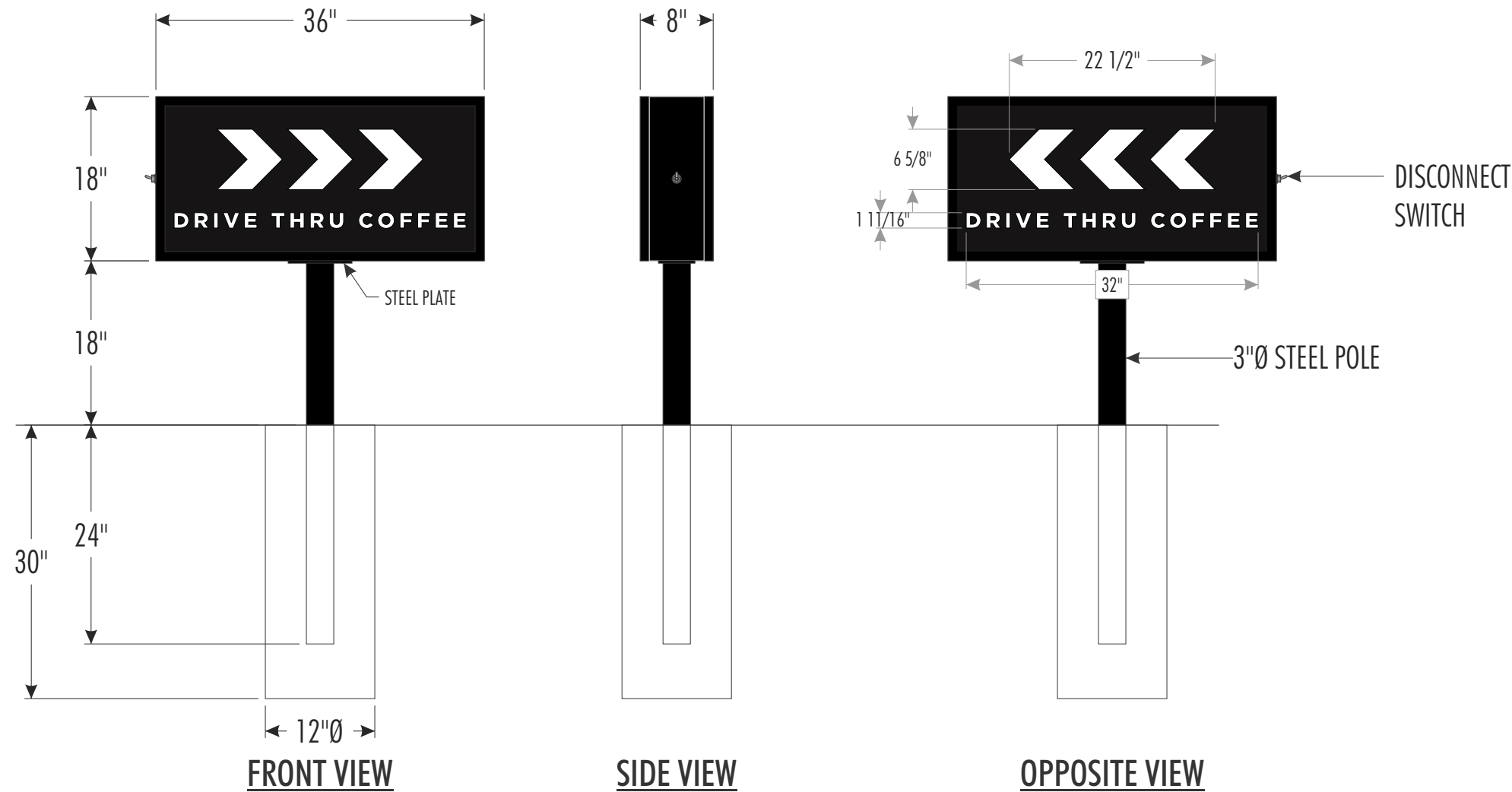
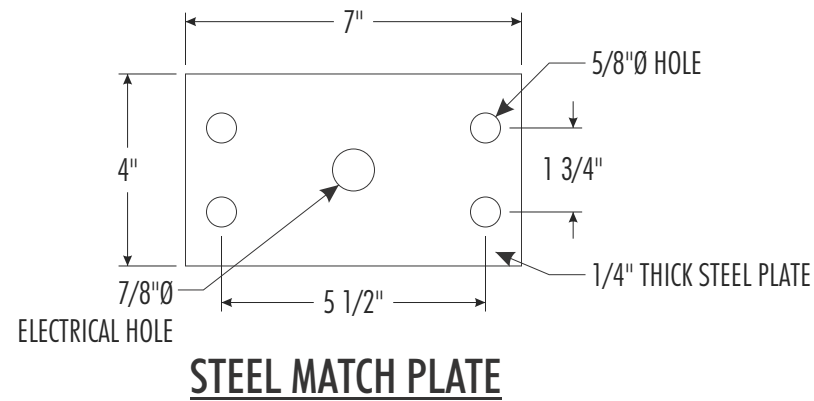


Primary Circuit (120 VAC)	
1.1 Amps	Sign Area
32.08 Sq Ft	Total Module Watts
54.00 Watts	Total System Watts
63.50 Watts	Energy Usage
4.49 Watts/Sq Ft	Total Lumens
8650.00 Lumens	8650.00 Lumens
611.31 Lumens/Sq Ft	

# Wayfinding Signs

3'-0" X 3'-0" SF LED IL DIRECTIONAL SIGN

4.50 Sq.Ft



REF. PART# : SBCVDIR36X36E01

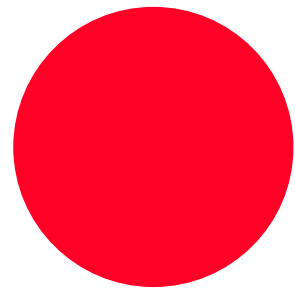


SCALE : 1:8

# Brand Standards



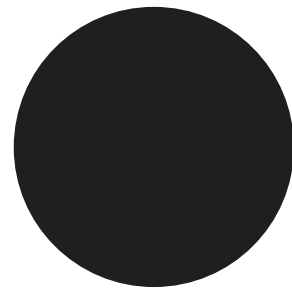
## BRAND COLORS



**PMS 185 C**  
**C: 0.00%**  
**M: 100.0%**  
**Y: 78.0%**  
**K: 9.00%**

**R: 231**  
**G: 0**  
**B: 51**

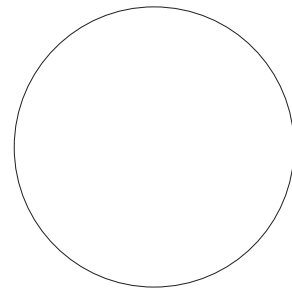
**HEX: E70033**



**BLACK**  
**C: 0%**  
**M: 0%**  
**Y: 0%**  
**K: 100%**

**R: 35**  
**G: 31**  
**B: 32**

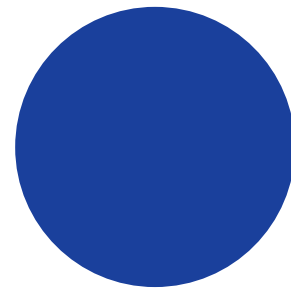
**HEX: 231f20**



**WHITE**  
**C: 0%**  
**M: 0%**  
**Y: 0%**  
**K: 0%**

**R: 255**  
**G: 255**  
**B: 255**

**HEX: ffffff**



**PMS 293**  
**C: 100%**  
**M: 63%**  
**Y: 0%**  
**K: 35%**

**R: 0**  
**G: 61**  
**B: 165**

**HEX: 003da5**

## NICHIHA OPTIONS



**COLOR: MIDNIGHT**  
**FINISH: MODERN BRICK**  
**STANDARD**



**COLOR: SHALE BROWN**  
**FINISH: CANYON BRICK**  
**STANDARD**



**COLOR: CRIMSON**  
**FINISH: PLYMOUTH BRICK**



**COLOR: ALEXANDRIA BUFF**  
**FINISH: VINTAGE BRICK**



**COLOR: WHITEWASH**  
**FINISH: VINTAGE BRICK**



### Fonts

Gotham Font family from Hoefler & Co.

### PANTONE COLORS

PMS (Pantone Matching System): The most accurate representation of each of the colors. This system is used in print applications instead of — or in addition to — CMYK color.

### CMYK EQUIVALENTS

(Process Color): Process builds use international standards for printing with the four process colors: Cyan, Magenta, Yellow and Black (CMYK). Values range from 0% to 100% for each of the four colors.

### RGB EQUIVALENTS

(Screen Color): For on-screen applications, RGB refers to the three colors of the visual spectrum, Red, Green and Blue. RGB values range from 0 to 255 for each of the three colors.

### HEXADECIMAL VALUES

(Screen Color): For on-screen applications. Hex values are arranged into three groupings of two characters each, representing Red, Green and Blue, and are compatible with HTML and other programming languages.

Jurisdiction: City of Clemson, SC  
Zoned: CP-2 Community Business

All ground & wall mounted signs must be "on premise"

Wall Signs:

Elevations must face public right of way or parking lot that has at least 5 parking spaces to have 1 sign allowed per elevation. For buildings farther than 35ft from a sidewalk or public right of way, the sign area shall not exceed 10% of the surface of the building elevation facing the street or parking lot facing with at least 5 parking spaces. Wall signs NTE 3ft in height except for logos on buildings which are allowed up to 5ft in height. Proposed wall signage square footage can use a square, circle, or rectangle to encompass the extreme limits of the writing, representation, etc. (backgrounds included). Wall signs to mount flat against the building walls. Placement allowed on parapet walls no higher than 2ft above the base of the abutting roof.

Ground Signs:

1 ground sign allowed per parcel, NTE36SF size, NTE 8ft in height, at least 70% of sign face must be encased in a sign assembly (sign cabinet), base length shall be at least 3/4 of the length of the total sign structure, placement must not interfere with required buffer yards, landscaping, or street trees. Must be monument style with solid base all the way to the ground consisting of brick, masonry, or similar durable materials. Monument (berm) application must be accompanied with a landscape maintenance plan. Perimeter lighting using illuminated tubing or strings is "prohibited". Sign square footage is based on one (1) side of monument (if double faced). The proposed square footage would include the entire sign structure - cabinet & base (not just copy).

Ground Directionals:

NTE 5SF in size. Permitted in the parking lot. Jurisdiction review required.





**GENERAL NOTES**

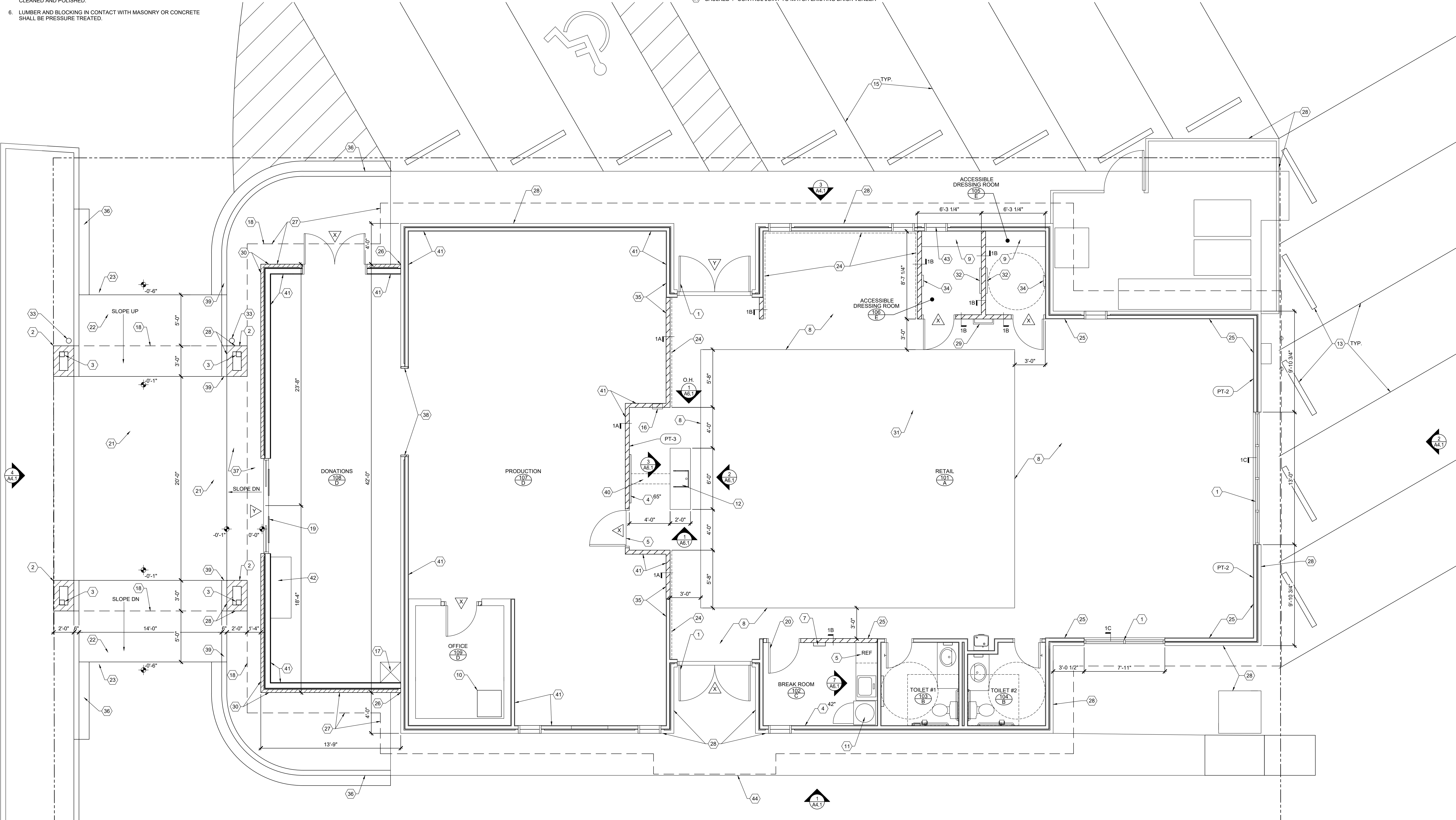
- THE SCOPE OF THE WORK WILL INCLUDE THE RENOVATION OF THE ENTIRE EXISTING BUILDING. THIS WORK WILL INCLUDE REMOVAL OF THE EXISTING EXTERIOR DRIVE THROUGH CANOPY, CONSTRUCTION OF AN ADDED DONATIONS AREA AND DONATIONS CANOPY, COMPLETE DEMOLITION OF THE INTERIOR PARTITIONS/FINISHES, COMPLETE RENOVATION OF THE INTERIOR OF THE BUILDING, PAINTING OF THE BUILDING EXTERIOR, REPLACEMENT OF ENTRANCE DOORS, ADDITION OF SOME STOREFRONT OPENINGS, REWORK OF ELECTRICAL POWER AND LIGHTING SYSTEMS, AND MINOR REWORK OF DUCTWORK, AS WELL AS CONSTRUCTION OF THE RELATED SITE WORK. THE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS, EQUIPMENT, TRANSPORTATION, AND INCLUDE ALL EXPENSES REQUIRED TO COMPLETE THE PROJECT WITH THE SEQUENCE OF WORK AS DESCRIBED BELOW. UNLESS WORK IS SPECIFICALLY NOTED TO BE DONE BY THE OWNER, THE WORK WILL INCLUDE SITE WORK, ARCHITECTURAL, STRUCTURAL, HVAC, PLUMBING, AND ELECTRICAL TRADES. CONTRACTOR SHALL BE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES OF CONSTRUCTION.
- THE SEQUENCE OF CONSTRUCTION SHALL BE AS FOLLOWS:
  - INTERIOR DEMOLITION AND RENOVATION OF THE EXISTING AREAS.
  - EXTERIOR DEMOLITION OF THE DRIVE THROUGH CANOPY AND CONSTRUCTION OF EXTERIOR IMPROVEMENTS PENDING APPROVAL BY THE CITY OF CLEMSON.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL SITE CONDITIONS AND DIMENSIONS PRIOR TO STARTING CONSTRUCTION.
- THE CONTRACTOR SHALL UNCONDITIONALLY GUARANTEE ALL MATERIALS AND WORKMANSHIP PROVIDED UNDER THIS AGREEMENT FOR A PERIOD OF ONE YEAR FROM THE DATE OF STORE OPENING. CONTRACTOR SHALL REPLACE ANY DEFECTIVE WORK WITHIN THAT TIME AT NO EXPENSE TO THE OWNER AND SHALL BE RESPONSIBLE FOR DAMAGES TO OTHER PARTS OF THE BUILDING RESULTING FROM THE DEFECTIVE WORK AND ITS REPAIR.
- CONTRACTOR SHALL KEEP THE PREMISES FREE FROM THE ACCUMULATION OF WASTE MATERIALS AND RUBBISH. AT THE COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REMOVE ALL RUBBISH AND SURPLUS MATERIALS AND LEAVE THE BUILDING CLEAN, WITH ALL SURFACES CLEAN, AND ALL GLASS AND MIRRORS CLEANED AND POLISHED.
- LUMBER AND BLOCKING IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO FACE OF WALL.
- ALL INTERIOR PARTITIONS TO BE TYPE 1A UNLESS NOTED OTHERWISE BY A WALL TYPE INDICATOR WALL ( ) TYPES ARE DESCRIBED IN THE PARTITION TYPES ON A2.1.
- FINISH FLOOR ELEVATION OF RETAIL AREA IS EQUAL TO 0'-0". SEE OTHER SPOT ELEVATIONS FOR FLOOR LOCATIONS.
- TOILET ACCESSORIES ARE INDICATED THUS (A) SEE DWG. A6.1 FOR THE ACCESSORY SCHEDULE.
- THE ACCESSIBILITY DESIGN IS BASED UPON ANSI A117.1-2017.
- WELDING TO STRUCTURAL STEEL SHALL CONFORM TO AWS D1.1. OVER WELDING SHALL CONFORM TO AWS D1.1.
- SHOULD THERE BE A DISCREPANCY OR AN OMISSION WITHIN THE DOCUMENTS, THE CONTRACTOR SHALL CONTACT THE ARCHITECT AT 864-527-4700 TO RECEIVE A CLARIFICATION BEFORE PROCEEDING.
- IF A SPECIFIED MATERIAL IS DISCONTINUED OR DELAYED, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY UNDER NO CIRCUMSTANCES ARE SUBSTITUTIONS TO BE MADE WITHOUT WRITTEN APPROVAL OF THE ARCHITECT.
- ALL NEW DOORS ARE INDICATED BY A  $\blacktriangleright$ .
- THE RENOVATION OF THE BUILDING WILL BE BASED ON A SEISMIC ZONE C.
- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND EQUIPMENT CUT SHEETS TO THE ARCHITECT FOR APPROVAL OF ALL MAJOR ITEMS IN THE PROJECT, PRIOR TO STARTING THAT PART OF THE WORK.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE ARCHITECT WITH ONE COMPLETE SET OF RED-MARKED AS-BUILT CONSTRUCTION DOCUMENTS REFLECTING THE ACTUAL CONDITIONS OF THE FINAL PROJECT. IN ADDITION, THE CONTRACTOR SHALL PROVIDE THREE COMPLETE SETS OF OPERATING AND MAINTENANCE MANUALS FOR THE BUILDING SYSTEMS PRIOR TO FINAL CLOSE-OUT.

**DRAWING NOTES**

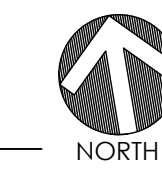
- \* (1) ALUMINUM MEDIUM STILE STOREFRONT / DOORS
- \* (2) NEW DONATIONS CANOPY COLUMNS WITH AN ACRYLIC FINISH ON CEMENT BOARD ON GWB SHEATHING ON 6" STRUCTURAL STUDS @ 16" O.C. ± SET ON A CONCRETE FOOTING / BASE. PAINT SW 7004 "SNOWBOUND"
- \* (3) TUBE COLUMNS - SEE STRUCTURAL
- \* (4) PROVIDE POWER/DATA & BLOCKING @ 6'-0" A.F.F. FOR T.V. TO BE HUNG BY OWNER
- \* (5) UNDERCOUNTER REFRIGERATOR (N.I.C.)
- \* (6) EDGE OF LVT W/ VINYL REDUCING STRIP CENTERED UNDER DOOR.
- \* (7) NEW ELECTRICAL PANEL
- \* (8) EDGE OF WOOD GRAIN LVT 1. PLANKS TO RUN EAST/WEST
- \* (9) BENCH. SEE 6/A6.1
- \* (10) SAFE (N.I.C.)
- \* (11) RELOCATED HOT WATER HEATER MOUNTED IN MILLWORK CLOSET
- \* (12) CHECKOUT COUNTER. SEE 1-4 ON A6.1 FOR DETAILS. SEE ELECTRICAL DRAWINGS FOR REQUIRED ELECTRICAL AND DATA OUTLETS.
- \* (13) RELOCATE EXISTING PARKING CURBS AND RESTRIPE SPACES AS SHOWN
- \* (14) THERMOSTAT LOCATION
- \* (15) RESTRIPE SPACES AS SHOWN AND ADD PARKING CURBS
- \* (16) SEMI-RECESSED FIRE EXTINGUISHER CABINET (FIRE EXTINGUISHER TO BE SUPPLIED BY OWNER)
- \* (17) MOP SINK - SEE PLUMBING DRAWINGS
- \* (18) LINE OF ROOF OVERHANG
- \* (19) AUTOMATIC SLIDING DOORS
- \* (20) EXISTING DOOR RELOCATED
- \* (21) NEW 6" CONCRETE PAVEMENT SLAB WITH WW FABRIC ON EXISTING STONE BASE
- \* (22) NEW SLOPED CONCRETE PAVEMENT FROM EXISTING ASPHALT PAVEMENT TO 0'-0" FINISH FLOOR ELEVATION
- \* (23) SAWCUT EXISTING ASPHALT TO INSTALL CONCRETE PAVEMENT. REPAIR DAMAGED ASPHALT TO PROVIDE A SMOOTH PAVED SURFACE
- \* (24) EXTENT OF METAL EDGED SLAT WALL FROM 1'-0" TO 6'-0" A.F.F. SHALL BE OWNER FURNISHED; CONTRACTOR INSTALLED (O.P.C.)
- \* (25) PROVIDE SURFACE MOUNTED VERTICAL SLOTTED STANDARDS FOR BRACKETS FROM 4" TO 6'-0" A.F.F. SPACED AT 2'-0" O.C. STARTING 1'-0" OFF OF EACH END OF WALL. PROVIDE 2x4 VERT. WOOD BLOCKING BEHIND EA. STANDARD.
- \* (26) CAULKED 1" CONTROL JOINT TO MATCH EXISTING BRICK VENEER

**PARTITION TYPES**

- 1A 3 5/8" METAL STUDS @ 16" O.C. WITH ONE LAYER OF 5/8" GWB ON EA. SIDE OF STUDS AND 3 5/8" SOUND ATTENUATION (SA) INSULATION BETWEEN STUDS. EXTEND ENTIRE PARTITION TO STRUCTURE ABOVE AND SEAL.
- 1B 3 5/8" METAL STUDS @ 16" O.C. WITH ONE LAYER OF GWB ON EA. SIDE OF STUDS AND BATT INSUL. BETWEEN STUDS. EXTEND ENTIRE PARTITION TO GWB CEILING
- 1C 3 5/8" METAL STUDS @ 16" O.C. WITH ONE LAYER OF GWB ON INTERIOR SIDE OF STUDS AND BATT INSULATION BETWEEN THE STUDS. EXTEND PARTITION FROM FLOOR TO BOTTOM OF SILL MULLION AT 2'-6" A.F.F.

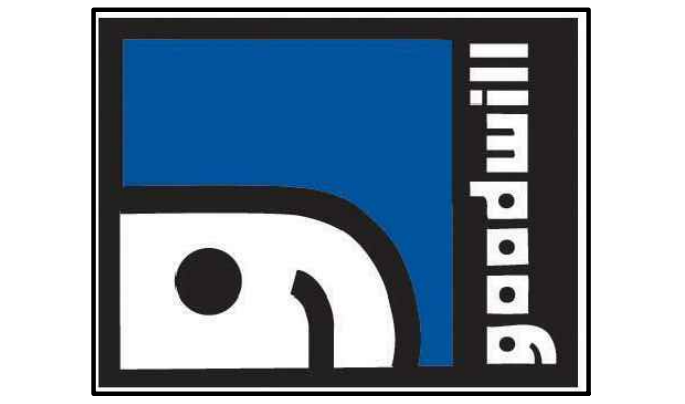


**1 FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**BetschAssociates**  
101 North Main Street  
Suite 808  
Greenville, SC 29601  
Phone: (864) 527-4700  
Fax: (864) 527-4705  
Planning  
Architecture  
Interior Architecture

**Goodwill**  
GOODWILL INDUSTRIES OF  
UPSTATE / MIDLANDS SOUTH CAROLINA  
**RETAIL STORE & DONATIONS**  
1051 TIGER BOULEVARD  
CLEMSON, SC 29631



**REVISIONS**

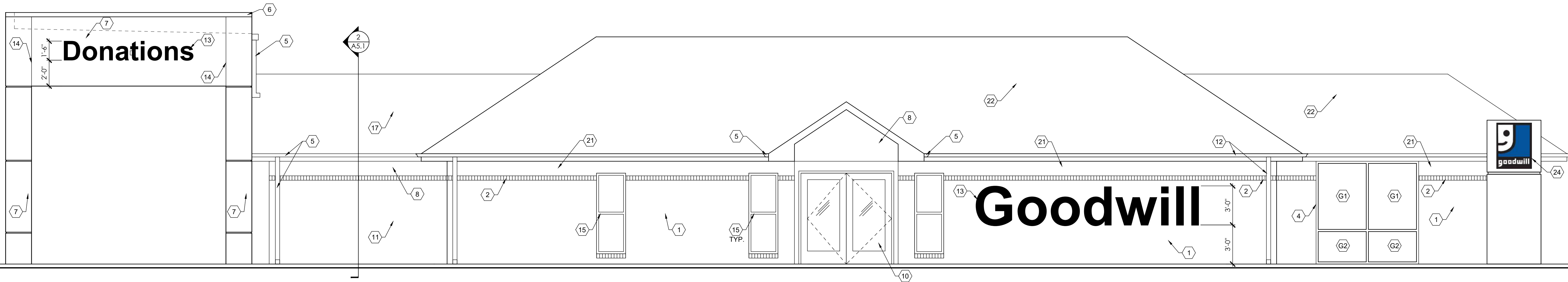
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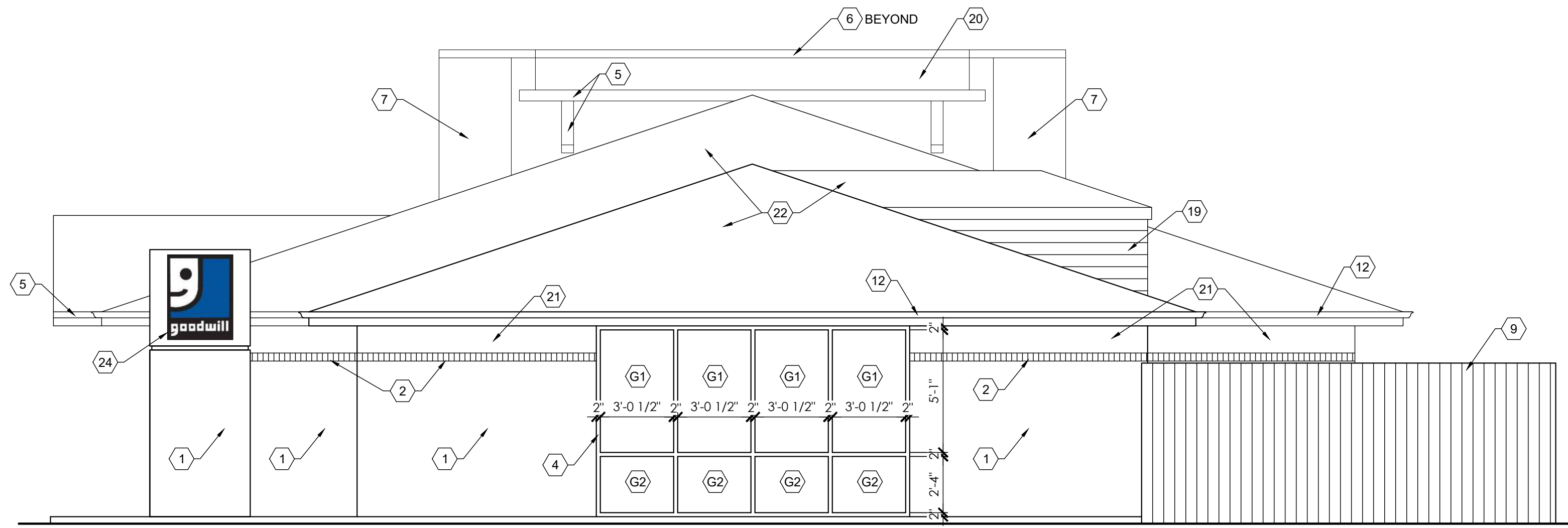
DATE: 4-13-2026  
PROJECT NO: 0867.00  
PRINCIPAL: K. BETSCH  
PROJECT ARCHITECT: K. BETSCH  
PROJECT MANAGER: F. TOMWE  
DRAWN: J. BIEDIGER  
CHECKED: K. BETSCH

**FLOOR PLAN**

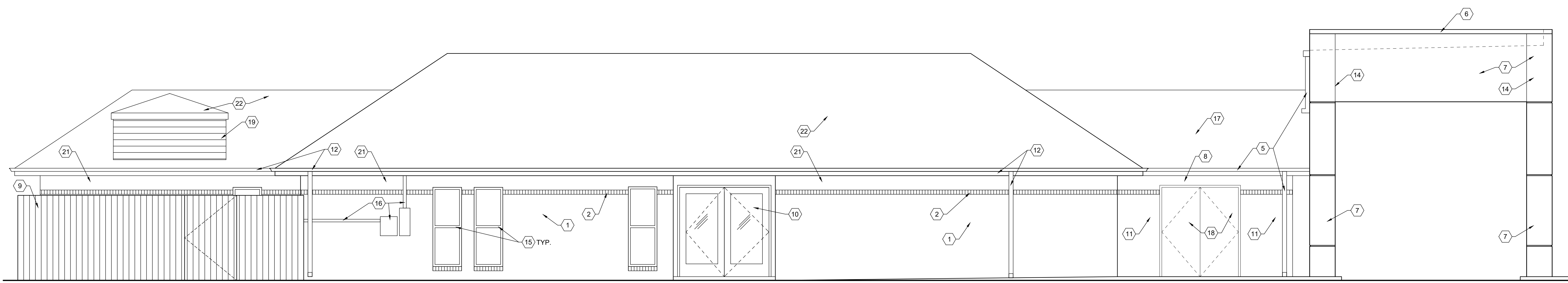
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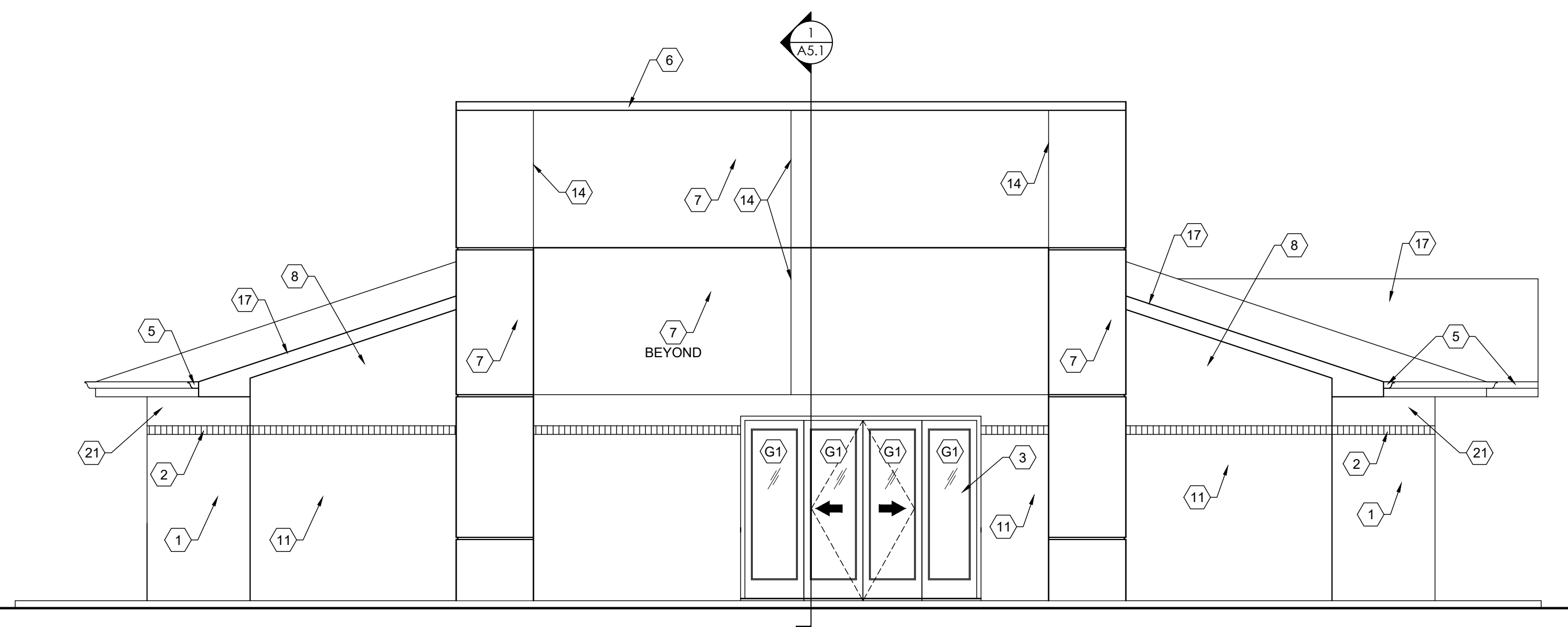
1 SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



2 EAST ELEVATION  
SCALE: 1/4" = 1'-0"



3 NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



4 WEST ELEVATION  
SCALE: 1/4" = 1'-0"

ELEVATION GENERAL NOTES

- A ALL GLAZING TO BE TYPE G1 UNLESS NOTED OTHERWISE.
- B THE EXISTING FINISH FLOOR IS EQUAL TO 0'-0".
- C REFER TO REFLECTED CEILING PLANS FOR ALL CEILING HEIGHTS.
- D ALL CONTROL JOINTS SHALL BE CAULKED IN A COLOR TO MATCH THE ADJACENT WALL SURFACE.
- E EXISTING BRICK AND WOOD FENCING SHALL BE PAINTED SHERMAN WILLIAMS SW7004 "SNOWBOUND".
- F ALL ACRYLIC FINISH ON EIFS SHALL HAVE A SAND / FINISH AND BE WHITE IN COLOR TO MATCH SW7004 "SNOWBOUND". PROVIDE SAMPLE FOR ARCHITECT'S APPROVAL.
- G ALL STOREFRONT SHALL HAVE A BLACK PAINTED FACTORY FINISH.
- H PROVIDE EXTERIOR MATERIAL SAMPLES FOR ARCHITECT'S REVIEW PRIOR TO INSTALLATION.

GLASS SCHEDULE

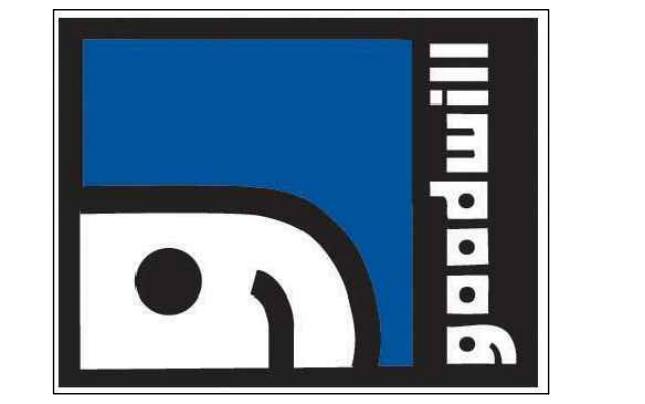
- G1 1" CLEAR INSULATED LOW E TEMPERED GLASS
- G2 1/4" SPANDREL GLASS

ELEVATION DRAWING NOTES

- \*1 EXISTING BRICK TO BE PAINTED
- \*2 EXISTING BRICK ROWLOCK TO REMAIN AND BE PAINTED
- \*3 AUTOMATIC SLIDING DOORS WITH WHITE POWDER COAT FINISH
- \*4 NEW STOREFRONT
- \*5 NEW GUTTER AND DOWNSPOUTS EQUAL TO NEW REGAL WHITE BY SENTICLAD
- \*6 NEW COPING COVER EQUAL TO NEW REGAL WHITE BY SENTICLAD
- \*7 NEW EIFS W/ 1" REVEALS
- \*8 NEW FIBER CEMENT LAP SIDING ON STRUCTURAL STUDS TO MATCH EXISTING LAP SIDING. PAINT TO MATCH BRICK
- \*9 EXISTING WOOD FENCE TO BE REPAIRED AND PAINTED ON EXTERIOR SIDE TO MATCH BRICK
- \*10 NEW MEDIUM STILE STOREFRONT DOORS AND FRAME
- \*11 NEW BRICK VENEER PAINTED
- \*12 EXISTING GUTTER TO BE PAINTED ALKYD SEMI-GLOSS TO MATCH NEW REGAL WHITE BY SENTICLAD
- \*13 NEW SIGNAGE (N.I.C.) PROVIDE ELECTRICAL FEED TO EACH LOCATION W/ DIMMING CAPABILITY
- \*14 CONTROL JOINT
- \*15 PREP AND PAINT EXISTING WINDOWS ALKYD BLACK
- \*16 PAINT EXISTING ELECTRICAL PANELS AND CONDUIT TO MATCH BRICK
- \*17 NEW SHINGLE ROOFING TO MATCH EXISTING
- \*18 FLUSH HOLLOW METAL DOORS & FRAME. PAINT TO MATCH BRICK
- \*19 NEW SHINGLE ROOFING TO MATCH EXISTING
- \*20 ROOF MEMBRANE FLASHING ON 3/4" PLYWOOD ON INTERIOR FACE OF CANOPY PARAPET
- \*21 EXISTING FIBER CEMENT LAP SIDING TO BE PAINTED TO MATCH BRICK
- \*22 EXISTING SHINGLE ROOFING
- \*23 EXISTING SHEET METAL FACE TO BE PAINTED ALKYD SEMI-GLOSS TO MATCH BRICK
- \*24 APPLIED SIGNAGE PANEL W/ RAISED LETTERS AND TRIM (N.I.C.)

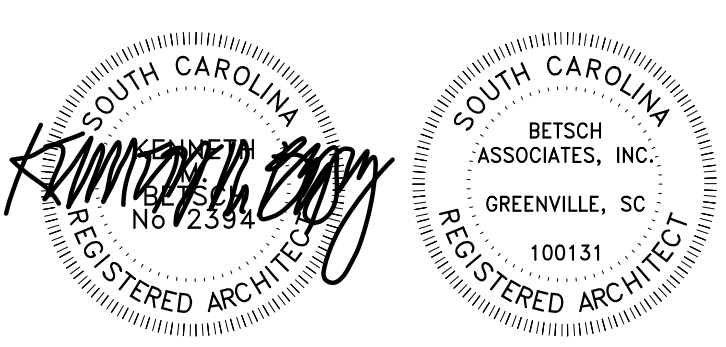
**BetschAssociates**  
101 North Main Street  
Suite 808  
Greenville, SC 29601  
Phone: (864) 527-4700  
Fax: (864) 527-4705  
Planning  
Architecture  
Interior Architecture

**Goodwill**  
GOODWILL INDUSTRIES OF  
UPSTATE / MIDLANDS SOUTH CAROLINA  
**RETAIL STORE & DONATIONS**  
1051 TIGER BOULEVARD  
CLEMSON, SC 29631



**REVISIONS**

NO.	BY	DATE	DESCRIPTION



DATE: 4-13-2026  
PROJECT NO: 0867.00  
PRINCIPAL: K. BETSCH  
PROJECT ARCHITECT: K. BETSCH  
PROJECT MANAGER: F. TOWSE  
DRAWN: J. BIEDIGER  
CHECKED: K. BETSCH

**EXTERIOR  
BUILDING  
ELEVATIONS**

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**GOODWILL INDUSTRIES**  
**CLEMSON, SOUTH CAROLINA**

 **Betsch**Associates



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**CLEMSON, SOUTH CAROLINA**

















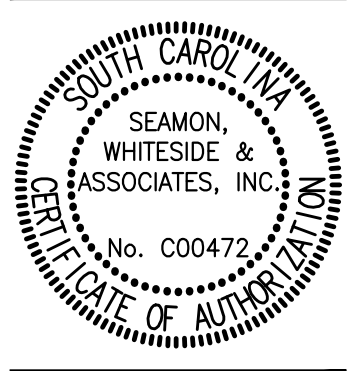












**GREENLEE PLACE**  
 TOLL BROTHERS | 1310 TIGER BLVD  
 CITY OF CLEMSON, SOUTH CAROLINA

SW+ PROJECT: 12582  
 DATE: 6/6/25  
 DRAWN BY: AC | ZB  
 CHECKED BY: DM | AL

**REVISION HISTORY**

No.	Description

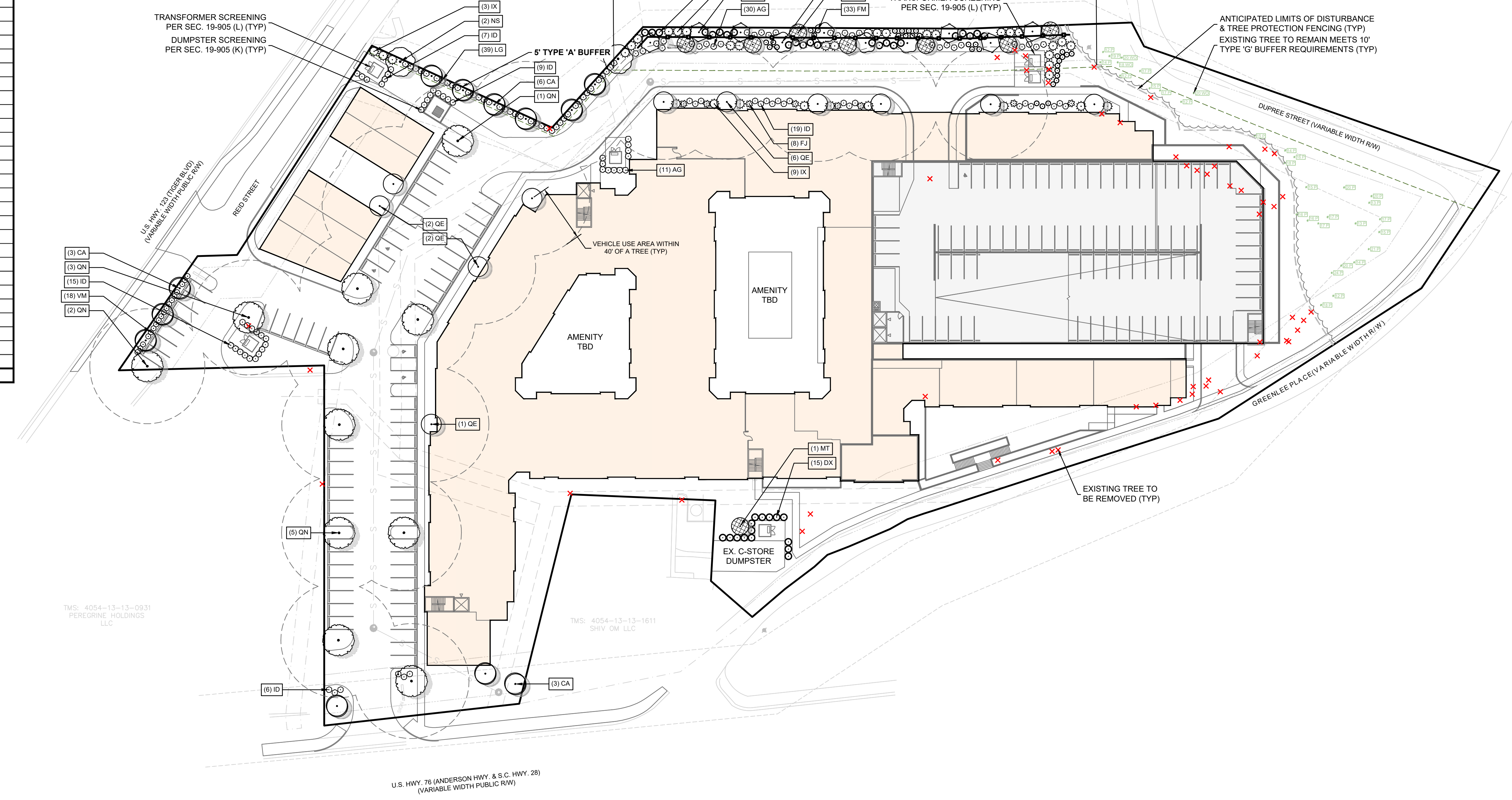
**LANDSCAPE PLAN**

**Tree Calculations**

Total (From Survey)	1328
Caliper Inches Removed	-801
Caliper Inches Retained	527
Caliper Inches Planted	86
<b>Net Loss</b>	<b>613 Caliper Inches</b>

**Existing Trees ≥ 8" Caliper Per Sec. 19-906**

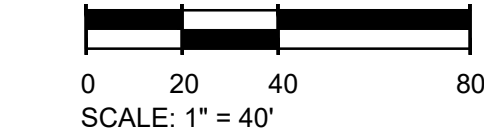
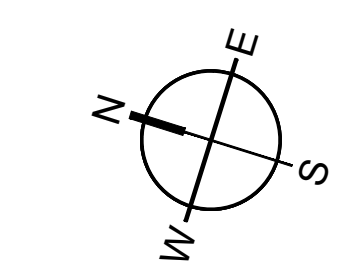
Trees to be removed		Trees to remain		
Size	Species	Size	Species	Tree Credits
14"	CED	14"	P	4
18"	PEAR	12"	P	3
14"	LO	19"	P	4
14"	MAP	18"	WO	4
12"	CED	20"	WO	5
12"	CED	12"	P	3
13"	CED	17"	P	4
16"	MAP	15"	P	4
19"	MAP	17"	P	4
21"	LO	12"	P	3
19"	WO	20"	WO	5
17"	WO	15"	P	4
12"	P	14"	P	4
18"	P	18"	P	4
19"	P	16"	P	4
15"	P	15"	P	4
17"	P	20"	P	5
15"	P	13"	P	3
12"	WO	20"	P	5
21"	P	16"	P	4
12"	MAP	16"	P	4
19"	P	17"	P	4
12"	P	17"	P	4
17"	P	13"	P	3
12"	P	17"	P	4
13"	P	15"	P	4
19"	P	21"	P	5
12"	P	14"	P	4
12"	P	20"	P	5
14"	P	24"	P	5
12"	P	12"	P	3
13"	P	18"	P	4
12"	P			
13"	P			
13"	P			
13"	P			
14"	P			
12"	P			
13"	P			
15"	P			
12"	P			
12"	P			
12"	BOXE			
27"	P			
13"	WO			
22"	P			
23"	P			
16"	P			
24"	P			
<b>TOTAL</b>		<b>TOTAL</b>		<b>129</b>



- LANDSCAPE NOTES:**
1. APPLY 6" DIAMETER MULCH RING TO ALL TREES IN TURF AREAS.
  2. SOD/SEED ALL DISTURBED AREAS NOT COVERED BY MULCH, VEGETATION, OR HARDSCAPE. DO NOT LEAVE BARE SOIL EXPOSED.
  3. NO IRRIGATION COMPONENTS, INCLUDING BUT NOT LIMITED TO, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTERS, AND/OR RAIN SENSORS ARE ALLOWED TO BE INSTALLED WITHIN DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY.
  4. THERE WILL BE NO SUBSTITUTIONS, DELETIONS, OR ADDITIONS WITHOUT APPROVAL OF THE LANDSCAPE ARCHITECT.



Know what's below. Call before you dig.



501 WANDO PARK BOULEVARD, SUITE 200, MOUNT PLEASANT, SC 29564 | JUDSON HILL BUILDING AREA, 701 EASLEY DRIVE, SUITE 600, GREENVILLE, SC 29611 | PETERSON DR., CHARLOTTE, NC 28217 | TIGER BLVD., GREENVILLE, SC 29615 | 1310 TIGER BLVD., GREENVILLE, SC 29615 | DANIEL MORGAN AVENUE, SUITE 300, SPARTANBURG, SC 29306  
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**GENERAL PLANTING NOTES:**

- THE LANDSCAPE CONTRACTOR SHALL MEET WITH LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK SO THAT THERE IS A CLEAR UNDERSTANDING OF PROJECT REQUIREMENTS. FAILURE TO DO SO JEOPARDIZES FINAL ACCEPTANCE OF WORK.
- THE LANDSCAPE CONTRACTOR IS HEREBY NOTIFIED OF THE EXISTENCE OF UNDERGROUND UTILITIES WITHIN THE LIMITS OF THE PROJECT AREA. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITY LINES PRIOR TO COMMENCEMENT OF DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING, PROTECTING, AND REPAIRING ALL DAMAGE TO BUILDINGS, UTILITIES, PAVEMENT, AND CURB & GUTTER. ANY REPAIRS SHALL BE DONE PROMPTLY AT LANDSCAPE CONTRACTOR'S EXPENSE. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY POSSIBLE CONFLICTS BETWEEN PROPOSED IMPROVEMENTS AND UTILITIES, SIGNS, AND/OR OTHER STRUCTURES.
- IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO VERIFY THAT EACH EXCAVATED TREE OR SHRUB PIT WILL PERCOLATE (DRAIN) PRIOR TO ADDING TOPSOIL AND INSTALLING TREES OR SHRUBS. THE LANDSCAPE CONTRACTOR SHALL FILL THE BOTTOM OF HOLES WITH SIX (6) INCHES OF WATER. THIS WATER SHOULD PERCOLATE WITHIN A TWENTY-FOUR (24) HOUR PERIOD. IF WATER DOESN'T PERCOLATE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLING PLANTS.
- SHOULD THE LANDSCAPE CONTRACTOR ENCOUNTER UNSATISFACTORY SURFACE OR SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOILS, HARD PANS, STEAM OR OTHER UTILITY LINES OR OTHER CONDITIONS THAT WILL JEOPARDIZE THE HEALTH AND VIGOR OF THE PLANTS, THE LANDSCAPE CONTRACTOR MUST ADVISE THE LANDSCAPE ARCHITECT IN WRITING OF THE CONDITIONS PRIOR TO INSTALLING THE PLANTS. OTHERWISE, THE LANDSCAPE CONTRACTOR WARRANTS THAT THE PLANTING AREAS ARE SUITABLE FOR PROPER GROWTH AND DEVELOPMENT OF THE PLANTS TO BE INSTALLED.
- THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR STAKING AND LAYOUT OF PLANTINGS ON THIS PROJECT. THE LANDSCAPE ARCHITECT OR OWNER SHALL BE ADVISED WHEN STAKES ARE READY FOR INSPECTION ON VARIOUS PLANTING AREAS. ALL LAYOUT WORK SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO OPENING ANY PLANTING PITS.
- PLANT MATERIAL QUANTITIES PROVIDED IN THE PLANT SCHEDULE ARE FOR REFERENCE ONLY AND THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE ACTUAL PLANT MATERIAL QUANTITIES.** DISCREPANCIES BETWEEN QUANTITIES SHOWN ON THE PLANTING PLAN AND THOSE IN THE PLANT SCHEDULE SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. IF CLARIFICATION OF DISCREPANCIES FROM THE LANDSCAPE ARCHITECT IS NOT POSSIBLE, THEN QUANTITIES SHOWN ON THE PLANTING PLAN SHALL TAKE PRECEDENCE.
- REQUIREMENTS FOR THE MEASUREMENTS, BRANCHING, GRADING, QUALITY, BALLING AND BURLAPPING OF PLANTS IN THE PLANT LIST SHOULD FOLLOW OR EXCEED THE STANDARDS CURRENTLY RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN THE AMERICAN STANDARD FOR NURSERY STOCKS (ANSI Z-60.1), UNLESS OTHERWISE SPECIFIED, ANY SIZE SPECIFIED SHALL BE CONSIDERED MINIMUM. **MINIMUMS FOR HEIGHT, SPREAD, OR CALIPER SHALL TAKE PRECEDENCE OVER A SPECIFIED CONTAINER SIZE.**
- ALL PLANTS SHALL HAVE A WELL FORMED HEAD WITH MINIMUM CALIPER, HEIGHT AND SPREAD OF THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAUNAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
- MEASUREMENT OF CONIFER HEIGHT SHALL INCLUDE NOT MORE THAN FIFTY (50) PER CENT OF THIS YEAR'S VERTICAL GROWTH (TOP CANDLE).
- NO EXCAVATION OR PLANTING PIT SHALL BE LEFT UNATTENDED OVERNIGHT.
- REMOVE BURLAP STRAP FROM WIRE BASKET FROM TOP 1/3 OF ROOT BALL ON TREES.
- REMOVE PAPER, PLASTIC OR METAL AROUND ROOT BALLS OF SHRUBS.
- DO NOT WRAP TREES.
- WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING.
- TREE GUYING MATERIAL SHALL BE "ARBOR-TIE" OR EQUIVALENT.
- ALL PLANT BEDS WITH 4" OF DOUBLE SHREDDED HARDWOOD MULCH UNLESS OTHERWISE SPECIFIED.
- ALL AREAS OF PLANTING, INCLUDING AREAS OF GRASS SEEDING AND SOD, SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AND SHALL BE PROVIDED APPROPRIATE SOIL FOR THE PROPOSED PLANTINGS. SEE SOIL NOTES.
- ALL EXISTING VEGETATION WITHIN AREAS TO BE PLANTED, SODDED AND/OR SEEDED SHALL BE REMOVED PRIOR TO PLANTING, SODDING, AND SEEDING. ALL AREAS INDICATED TO BE GRASS SEED SHALL BE SEED PER GRASSING SPECIFICATIONS FOR PERMANENT STABILIZATION.
- ALL DISTURBED AREAS NOT SPECIFICALLY CALLED OUT ON THIS PLAN SHALL BE SEEDED PER THE PROVIDED SEEDING SCHEDULE. ALL DISTURBED NATURAL AREAS SHALL BE MULCHED (SEE MULCH SPECIFICATIONS).
- DRAINAGE TO BE PROVIDED FOR ALL ABOVE GROUND PLANTERS.
- PLANTINGS SHALL BE PRUNED TO CONFORM WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO THE CITY, COUNTY, STATE AND FEDERAL REQUIREMENTS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP THE SITE AT THE COMPLETION OF THE PROJECT AND SHALL MAINTAIN THE SITE IN A REASONABLY NEAT AND CLEAN STATE THROUGHOUT THE INSTALLATION PROCESS. STREETS AND PAVED AREAS SHALL BE CLEANED REGULARLY TO REMOVE CONSTRUCTION MATERIALS AND OTHER DEBRIS RESULTING FROM CONSTRUCTION WORK.
- REPLACEMENTS OF DEAD OR UNSATISFACTORY MATERIAL SHALL BE MADE AS SPECIFIED IN THE PLANT LIST. THE OWNER OR LANDSCAPE ARCHITECT SHALL INSPECT REPLACED PLANTS WHEN ALL REPLACEMENTS HAVE BEEN MADE. REPLACEMENTS ARE TO BE ALIVE AND IN A HEALTHY CONDITION WHEN THE REPLACEMENTS ARE COMPLETE. REPLACEMENTS ARE NOT SUBJECT TO AN ADDITIONAL GUARANTEE. BUT THE LANDSCAPE CONTRACTOR SHALL CONSULT WITH THE LANDSCAPE ARCHITECT ON REASON FOR PLANT DECLINE/DEATH AND HOW TO AVOID FUTURE INSTANCES.
- SHOULD THE LANDSCAPE CONTRACTOR NOT MAKE REPLACEMENTS IN A SATISFACTORY AND TIMELY FASHION IN ACCORD WITH THE PLANTING NOTES, THE OWNER, AFTER PROPER NOTIFICATION TO THE LANDSCAPE CONTRACTOR MAY UTILIZE THE FUNDS OF THE RETAINAGE TO HAVE THE REPLACEMENTS MADE IN ACCORDANCE WITH THE SPECIFICATIONS BY ANOTHER CONTRACTOR.

**SOIL NOTES:**

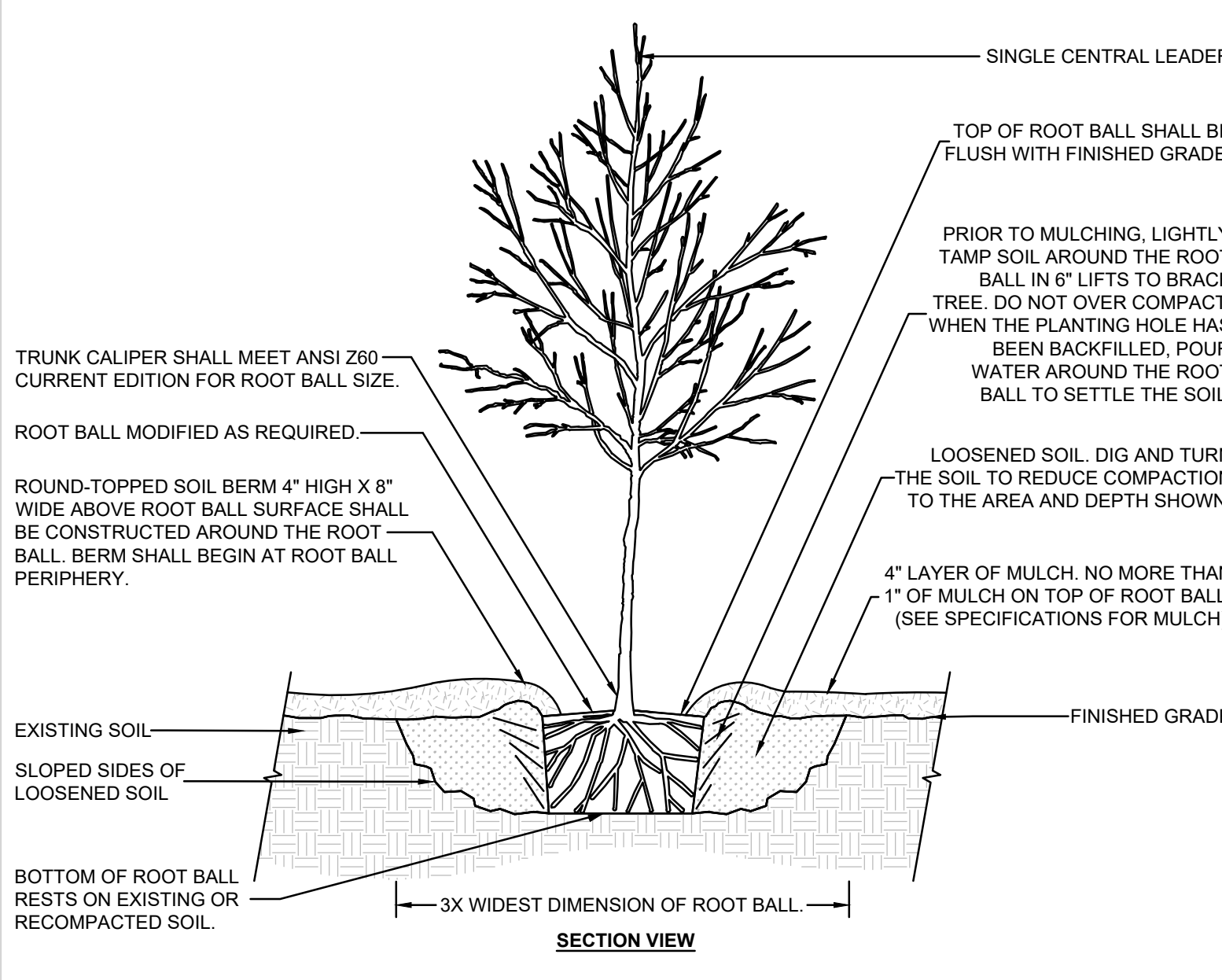
- FOR EACH UNAMENDED SOIL TYPE, FURNISH SOIL ANALYSIS AND A WRITTEN REPORT BY A QUALIFIED SOIL-TESTING LABORATORY STATING PERCENTAGES OF ORGANIC MATTER, GRADATION OF SAND, SILT, AND CLAY CONTENT; CATION EXCHANGE CAPACITY; SODIUM ADSORPTION RATIO; DELETERIOUS MATERIAL; BUFFER PH LEVELS; AND MINERAL AND PLANT-NUTRIENT CONTENT OF THE SOIL.
- A MINIMUM OF THREE REPRESENTATIVE SAMPLES SHALL BE TAKEN FROM VARIED LOCATIONS FOR EACH SOIL TO BE USED OR AMENDED FOR PLANTING PURPOSES.
- LANDSCAPE CONTRACTOR SHALL SUBMIT TO LANDSCAPE ARCHITECT THE LAB RECOMMENDATIONS FOR SOIL TREATMENTS AND SOIL AMENDMENTS TO BE INCORPORATED. INDICATE LAB RECOMMENDATIONS IN WEIGHT PER 1000 SQ. FT. OR VOLUME PER CU. YD. FOR NITROGEN, PHOSPHORUS, AND POTASH NUTRIENTS AND ORGANIC AND INORGANIC SOIL AMENDMENTS TO BE ADDED TO PRODUCE PLANTING SOIL SUITABLE FOR HEALTHY, VIABLE PLANTS.
- ALL SOILS USED FOR PLANTING SHALL BE PREPARED AS NECESSARY USING ORGANIC AND INORGANIC SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED IN THE SOIL ANALYSIS REPORT TO PRODUCE SATISFACTORY PLANTING SOIL FOR HEALTHY, VIABLE PLANTS. PLANTING SOILS SHALL HAVE A PH LEVEL BETWEEN 6.0 AND 7.0.
- IN ALL PLANTING AREAS, SPREAD PLANTING SOIL TO A DEPTH OF 8 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT.

**IRRIGATION NOTES:**

- LANDSCAPE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF PROPOSED IRRIGATION SYSTEM TO LANDSCAPE ARCHITECT AND OWNER FOR ACCEPTANCE. LANDSCAPE CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEMS, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, RAIN SENSOR, AND CLOCK AND TO PROVIDE 100% HEAD TO HEAD COVERAGE OF ALL NEW SODDED AND IMPROVED EXISTING GRASS AREAS, TREES, SHRUBS AND PLANTING BEDS. COORDINATE IRRIGATION WITH OWNER'S REPRESENTATIVE.
- LANDSCAPE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR AUTOMATIC IRRIGATION SYSTEMS. LANDSCAPE CONTRACTOR SHALL PROVIDE ELECTRIC METER, BACKFLOW PREVENTER AND SERVICE IN ACCORDANCE WITH STATE AND LOCAL CODES FOR IRRIGATION SYSTEM. LOCATION OF METERS AND CONTROL PANELS FOR IRRIGATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. COORDINATE WATER METER REQUIREMENTS WITH CIVIL ENGINEER.
- LANDSCAPE CONTRACTOR TO PROVIDE DRIP IRRIGATION TO ALL ABOVE GROUND PLANTERS. IRRIGATION LINE TO BE INSTALLED BENEATH ADJACENT HARDSCAPE AS NECESSARY.
- IRRIGATION PIPING, SPRINKLERS, AND OTHER EQUIPMENT MAY BE SHOWN OUTSIDE OF LANDSCAPE AREAS ON DRAWING FOR GRAPHIC CLARITY. ALL VALVE BOXES AND EQUIPMENT VALVES SHALL BE LOCATED IN MULCH BEDS.
- NO IRRIGATION COMPONENTS, INCLUDING BUT NOT LIMITED TO, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTERS, AND/OR RAIN SENSORS ARE ALLOWED TO BE INSTALLED WITHIN DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY.

**PLANT SCHEDULE NOTES:**

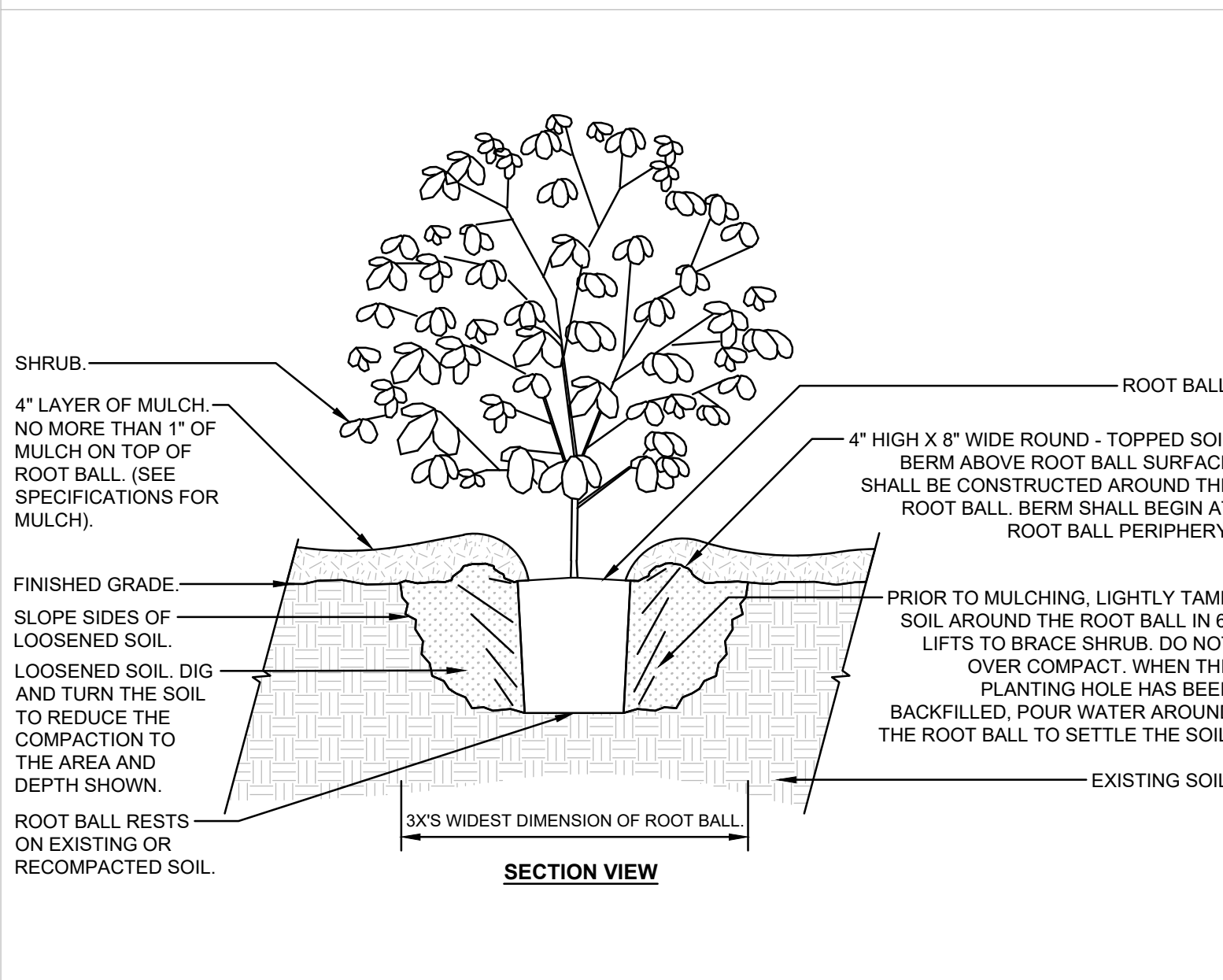
- LANDSCAPE CONTRACTOR SHALL NOTIFY THIS OFFICE OF DISCREPANCIES PRIOR TO BEGINNING OR CONTINUING WORK.
- THERE WILL BE NO SUBSTITUTIONS, DELETIONS OR ADDITIONS WITHOUT APPROVAL OF THIS OFFICE.
- SIZE OF PLANT MATERIAL SHALL CONFORM WITH THE CURRENT EDITION OF AMERICAN STANDARD FOR NURSERY STOCK FOR NUMBER ONE GRADE NURSERY STOCK AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND AMERICAN NATIONAL STANDARDS INSTITUTE.
- THE QUANTITIES ON THE SCHEDULE ARE ONLY A GUIDE. ALL QUANTITIES SHALL BE VERIFIED BY THE LANDSCAPE CONTRACTOR ON THE PLANTING PLAN.



**NOTES:**

- SEE LANDSCAPE NOTES AND SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

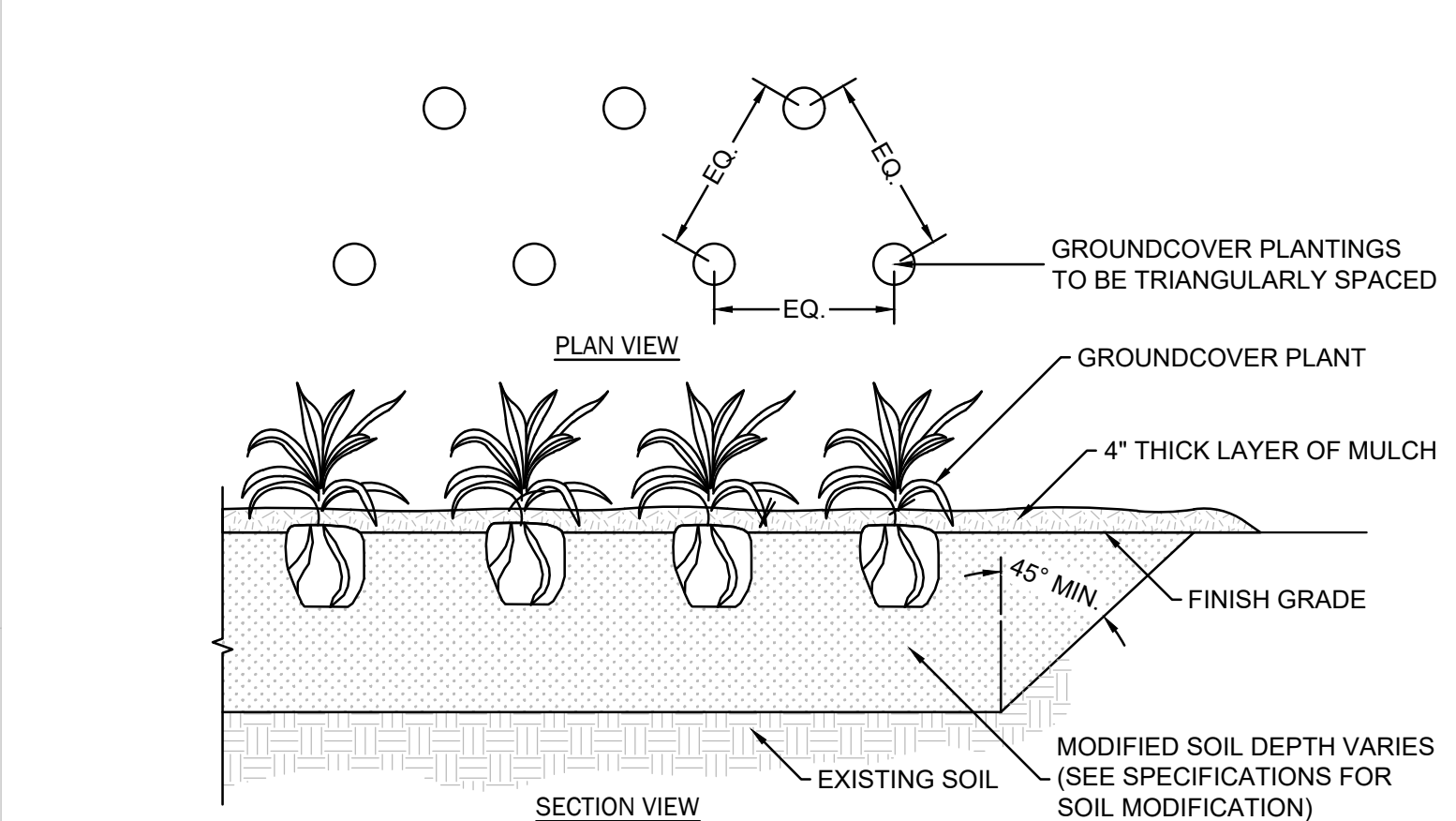
**3 Tree With Berm - Existing Soil Unmodified**  
SCALE: NOT TO SCALE



**NOTES:**

- SEE LANDSCAPE NOTES AND SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

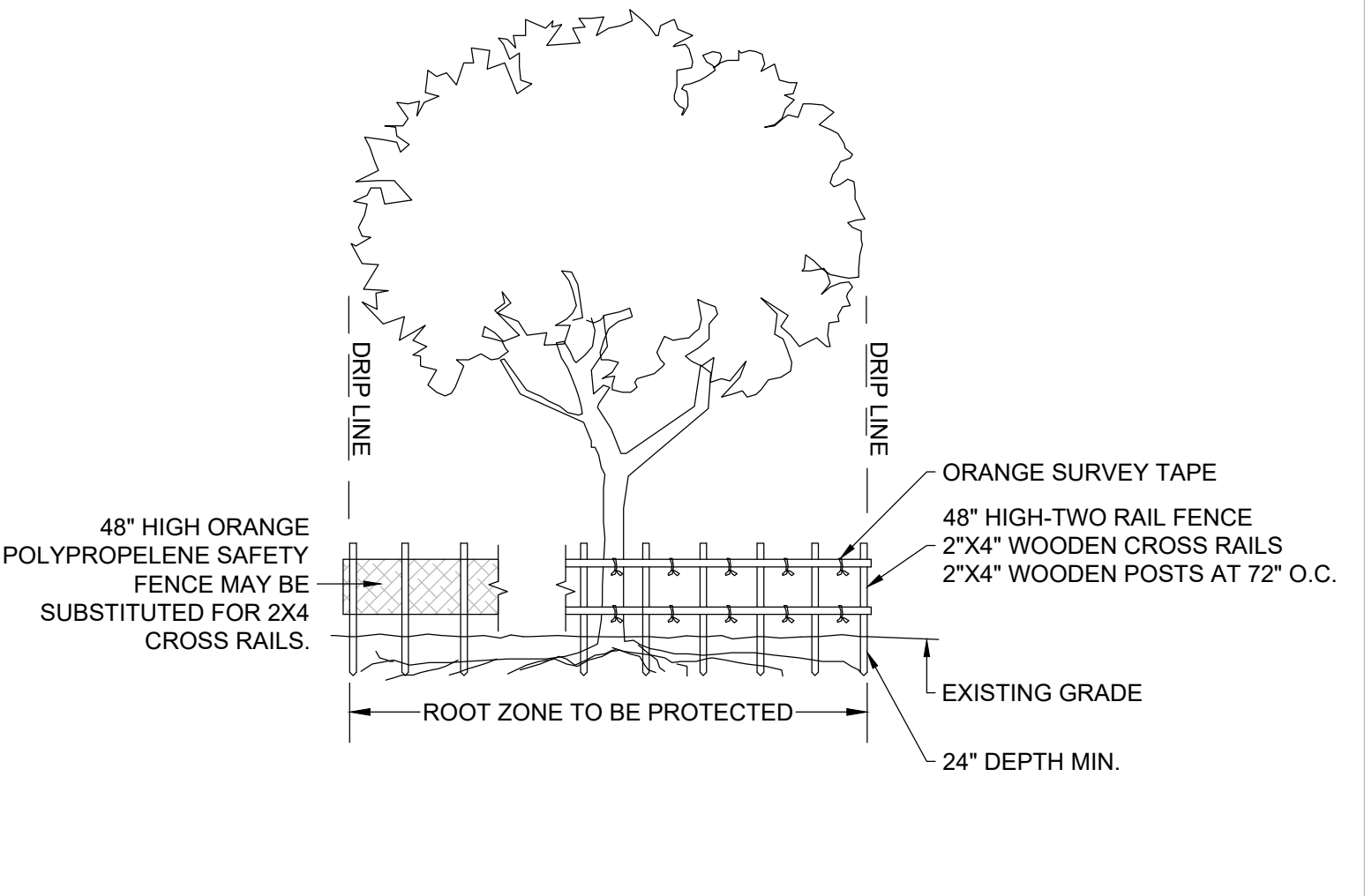
**4 Shrub Planting - Unmodified Soil**  
SCALE: NOT TO SCALE



**NOTES:**

- SEE LANDSCAPE NOTES AND SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.
- SEE PLANT SCHEDULE FOR PLANT SPECIES, SIZE, AND SPACING DIMENSION.
- SMALL ROOTS (1/2\"/>

**5 Groundcover / Ornamental Grass Planting Detail**  
SCALE: NOT TO SCALE



**NOTES:**

- BARRICADES SHALL BE INSTALLED AROUND ALL TREES INDICATED ON THE PLANS ACCORDING TO THE FOLLOWING STANDARDS:
  - WHERE POSSIBLE, LOCATE ALONG THE PERIMETER OF THE OUTER MOST SPREAD OF THE PROTECTED TREE'S BRANCHES (DRIP LINE).
  - IN NO CASE SHALL THE TREE PROTECTION BE LOCATED LESS THAN A DISTANCE EQUAL TO THE DIAMETER OF THE TREE AT BREAST HEIGHT (IN INCHES) MULTIPLIED BY 6\"/>

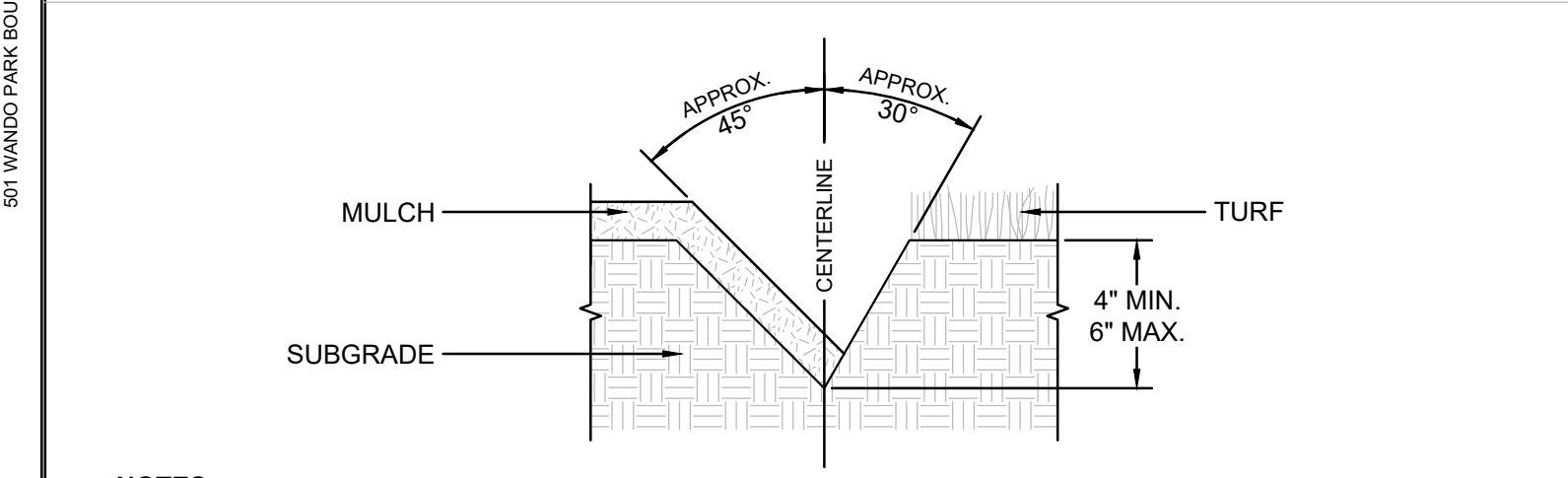
**6 Tree Protection Fence**  
SCALE: NOT TO SCALE

PLANT SCHEDULE					SIZE	HEIGHT	SPACING	REMARKS
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME					
<b>CANOPY TREES</b>								
	MT	8	MAGNOLIA GRANDIFLORA 'SOUTHERN CHARM' / TEDDY BEAR® SOUTHERN MAGNOLIA	N/A	10' MIN	AS SHOWN	FWF / FTG	
	NS	2	NYSSA SYLVATICA / TUPELO	2" CAL	10'-12'	AS SHOWN	FWF	
	QE	11	QUERCUS X 'CRIMSCHMIDT' / CRIMSON SPIRE™ OAK	2" CAL	10'-12'	AS SHOWN	FWF	
<b>PARKING LOT TREES</b>								
	QN	11	QUERCUS NUTTALLII / NUTTALL OAK	2" CAL	12' MIN	AS SHOWN	FWF / 6' CT	
<b>UNDERSTORY TREES</b>								
	AA	6	AMELANCHIER ARBOREA / DOWNY SERVICEBERRY	N/A	8' MIN	AS SHOWN	FWF	
	CA	12	CARPINUS CAROLINIANA / AMERICAN HORNBEAM	N/A	8' MIN	AS SHOWN	FWF	
	CC	4	CERCIS CANADENSIS / EASTERN REDBUD	N/A	8' MIN	AS SHOWN	FWF / MS (3-5)	
<b>SHRUBS</b>								
	AG	41	ABELIA X GRANDIFLORA / GLOSSY ABELIA	3 GAL	12"-18"	AS SHOWN		
	DX	38	DISTYLIIUM X 'PIIDIST-IV' / LINEBACKER DISTYLIIUM	3 GAL	12"-18"	AS SHOWN		
	FJ	8	FATSIA JAPONICA / JAPANESE FATSIA	3 GAL	12"-18"	AS SHOWN		
	FM	33	FOTHERGILLA MAJOR 'MOUNT AIRY' / MOUNT AIRY FOTHERGILLA	3 GAL	12"-18"	AS SHOWN		
	ID	56	ILEX CORNUTA 'DWARF BURFORD' / DWARF BURFORD HOLLY	3 GAL	12"-18"	AS SHOWN		
	IX	36	ILEX X 'MAGLAND' / OAKLAND HOLLY	3 GAL	12"-18"	AS SHOWN		
	LG	39	LOROPETALUM CHINENSE / CHINESE FRINGE FLOWER	3 GAL	12"-18"	AS SHOWN		
	VM	18	VIBURNUM OBOVATUM 'MRS. SCHILLER'S DELIGHT' / MRS. SCHILLERS DELIGHT WALTER'S VIBURNUM	3 GAL	12"-18"	AS SHOWN		

**ABBREVIATIONS:**

B&B = BALLED & BURLAPPED	FTG = FULL TO GROUND	OC = ON-CENTER
BR = BARE ROOT MATERIAL	FWF = FULL WELL FORMED	RF = REFOOLIATED
CAL = TRUNK CALIPER (MIN)	GAL = GALLON CONTAINER	SP = SPECIMEN MATERIAL
CT = CLEAR TRUNK	HC = HURRICANE CUT	TF = TREE FORM HABIT
ESP = ESPALIER	MS = MULTI-STEMMED TRUNK	TYP = TYPICAL

**1 Landscape Notes**  
SCALE: NOT TO SCALE



**NOTES:**

- SEE LANDSCAPE NOTES AND SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.
- EXCAVATE TRENCH BY HAND WITH SPADE.
- ADD EXCESS SOIL TO ADJACENT PLANT BED AFTER PULLING BACK EXISTING MULCH. RAKE SOIL AND SMOOTH BEFORE MULCHING.

**2 Lawn Edge Detail**  
SCALE: NOT TO SCALE

**SW SEAMON WHITESIDE**  
MOUNT PLEASANT, SC 843 884 1667  
GREENVILLE, SC 864 298 0534  
SUMMERVILLE, SC 843 972 0710  
SPARTANBURG, SC 864 272 1272  
CHARLOTTE, NC 980 312 5450  
RALEIGH, NC 980 312 5450  
WWW.SEAMONWHITESIDE.COM



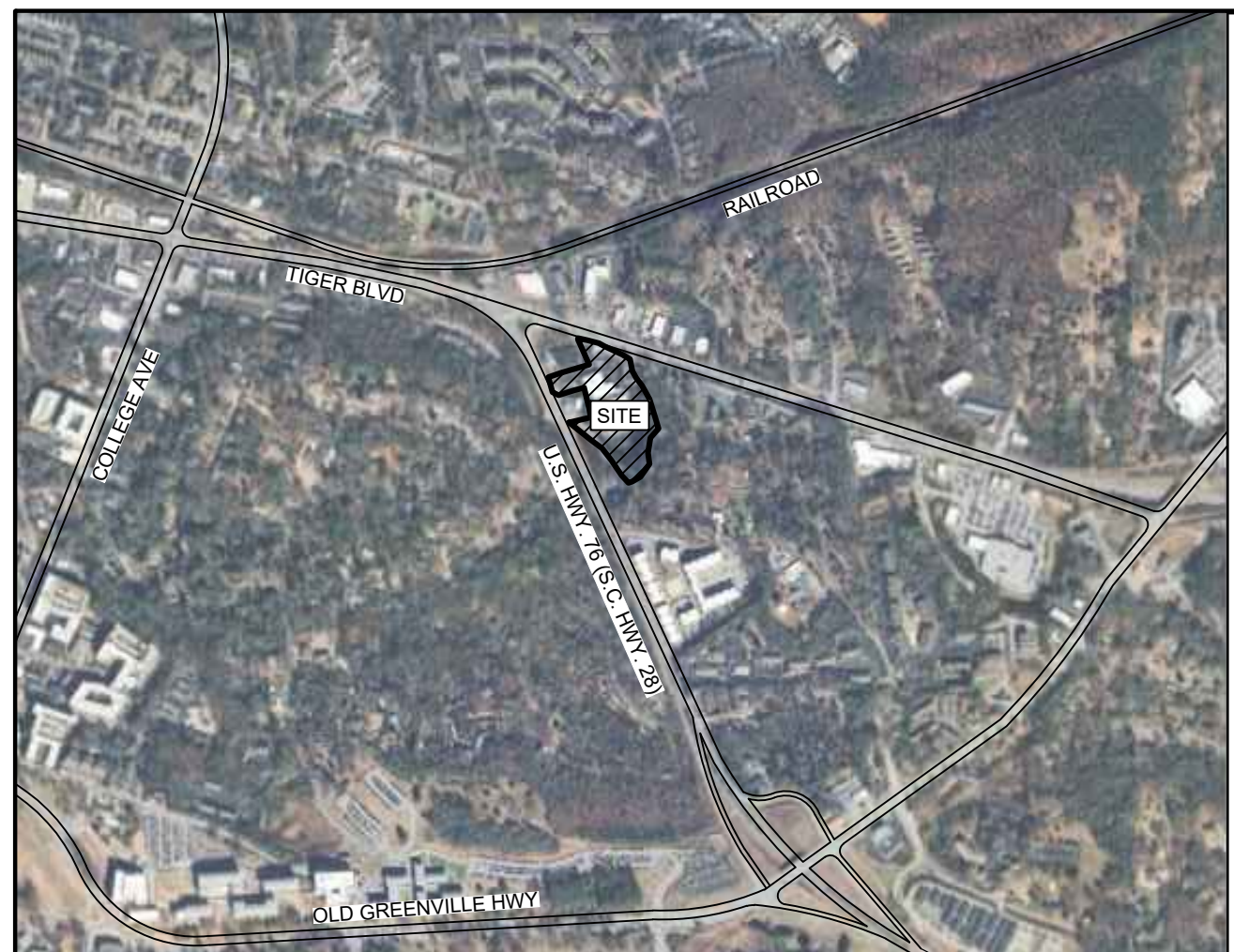
**GREENLEE PLACE**  
TOLL BROTHERS | 1310 TIGER BLVD  
CITY OF CLEMSON, SOUTH CAROLINA

SW+ PROJECT: 12582  
DATE: 6/6/25  
DRAWN BY: AC | ZB  
CHECKED BY: DM | AL

**REVISION HISTORY**

NO.	DESCRIPTION

**PLANT SCHEDULE & DETAILS**



VICINITY MAP, NOT TO SCALE

ALL THAT CERTAIN PIECE, PARCEL OR TRACT OF LAND, SITUATE, LYING AND BEING IN THE CITY OF CLEMSON, PICKENS COUNTY, STATE OF SOUTH CAROLINA AND BEING MORE FULLY SHOWN AND DESIGNATED ON A SURVEY TITLED, "AN ALTANSPS LAND TITLE SURVEY OF TMS #4054-13-13-3566 OWNED BY RAJ GURU HOTELS LLC PREPARED BY SEAMON WHITESIDE, DATED JUNE 11, 2024 AND MORE PARTICULARLY DESCRIBED BELOW:

BEGINNING AT A SET 5/8" REBAR ON THE SOUTHERN RIGHT-OF-WAY OF TIGER BOULEVARD AND THE NORTHERN MOST POINT OF TMS #4054-13-13-3566, SAID POINT BEING THE POINT OF BEGINNING (P.O.B.); THENCE FOLLOWING THE SOUTHERN RIGHT OF WAY OF TIGER BLVD A BEARING OF S 72-50-25 E A DISTANCE OF 96.51 FEET TO A SET PK NAIL; THENCE FOLLOWING THE SOUTHERN RIGHT OF WAY OF TIGER BLVD A BEARING OF S 19-11-11 E A DISTANCE OF 27.46 FEET TO A SET PK NAIL; THENCE FOLLOWING THE SOUTHERN RIGHT OF WAY OF TIGER BLVD A BEARING OF S 74-39-19 E A DISTANCE OF 173.22 FEET TO A 1" CRIMP TOP PIPE; THENCE LEAVING THE RIGHT OF WAY OF TIGER BLVD A BEARING OF S 7-4-46 W A DISTANCE OF 137.65 FEET TO A 5/8" REBAR; THENCE A BEARING OF S 65-19-22 E A DISTANCE OF 94.33 FEET TO A 5/8" REBAR; THENCE A BEARING OF S 17-8-15 E A DISTANCE OF 225.56 FEET TO A 5/8" REBAR; THENCE A BEARING OF S 19-34-27 E A DISTANCE OF 114.42 FEET TO A 5/8" REBAR ON THE RIGHT OF WAY OF DUPREE STREET; THENCE FOLLOWING THE RIGHT OF WAY OF DUPREE STREET A BEARING OF S 45-17-32 W A DISTANCE OF 18.73 FEET TO A 5/8" REBAR; THENCE FOLLOWING THE RIGHT OF WAY OF DUPREE STREET A BEARING OF S 1-43-41 W A DISTANCE OF 261.78 FEET TO A PK NAIL ON THE RIGHT OF WAY OF GREENLEE PLACE; THENCE FOLLOWING THE RIGHT OF WAY OF GREENLEE PLACE A BEARING OF N 73-51-47 W A DISTANCE OF 97.94 FEET TO A PK NAIL; THENCE FOLLOWING THE RIGHT OF WAY OF GREENLEE PLACE A BEARING OF BEARING N 50-10-36 W A DISTANCE OF 167.68 FEET TO A PK NAIL; THENCE FOLLOWING THE RIGHT OF WAY OF GREENLEE PLACE A BEARING OF BEARING N 35-10-9 W A DISTANCE OF 117.59 FEET TO A PK NAIL; THENCE FOLLOWING THE RIGHT OF WAY OF GREENLEE PLACE A BEARING OF BEARING N 35-28-40 W A DISTANCE OF 81.29 FEET TO A PK NAIL; THENCE FOLLOWING THE RIGHT OF WAY OF GREENLEE PLACE A BEARING OF BEARING N 34-40-54 W A DISTANCE OF 5.44 FEET TO A 5/8" REBAR; THENCE FOLLOWING THE RIGHT OF WAY OF GREENLEE PLACE A BEARING OF BEARING N 36-17-14 W A DISTANCE OF 12.13 FEET TO A PK NAIL; THENCE FOLLOWING THE RIGHT OF WAY OF GREENLEE PLACE A BEARING OF BEARING N 46-58-53 W A DISTANCE OF 13.85 FEET TO A SET PK NAIL; THENCE FOLLOWING THE RIGHT OF WAY OF GREENLEE PLACE A BEARING OF BEARING N 40-23-38 W A DISTANCE OF 31.17 FEET TO A SET PK NAIL; THENCE FOLLOWING THE RIGHT OF WAY OF GREENLEE PLACE A BEARING OF BEARING N 38-44-5 W A DISTANCE OF 16.02 FEET TO A SET PK NAIL; THENCE FOLLOWING THE RIGHT OF WAY OF GREENLEE PLACE A BEARING OF BEARING N 59-43-52 W A DISTANCE OF 12.36 FEET TO A SET PK NAIL; THENCE FOLLOWING THE RIGHT OF WAY OF GREENLEE PLACE A BEARING OF BEARING N 64-56-37 W A DISTANCE OF 25.45 FEET TO A SET PK NAIL; THENCE FOLLOWING THE RIGHT OF WAY OF GREENLEE PLACE A BEARING OF BEARING N 57-56-6 W A DISTANCE OF 30.05 FEET TO A PK NAIL; THENCE LEAVING THE RIGHT OF WAY OF GREENLEE PLACE A BEARING OF N 23-38-15 E A DISTANCE OF 38.08 FEET TO A 1" OPEN TOP PIPE; THENCE A BEARING OF N 75-46-42 E A DISTANCE OF 56.14 FEET TO A 5/8" REBAR; THENCE A BEARING OF N 15-1-49 W A DISTANCE OF 100.28 FEET TO A CALCULATED POINT; THENCE A BEARING OF S 86-33-47 W A DISTANCE OF 150.07 FEET TO A 3/8" REBAR ON THE EASTERN RIGHT OF WAY OF U.S. HIGHWAY 76; THENCE FOLLOWING THE RIGHT OF WAY OF U.S. HIGHWAY 76 A BEARING OF N 23-38-15 E A DISTANCE OF 136.47 FEET TO A SET 5/8" REBAR; THENCE LEAVING THE RIGHT OF WAY OF U.S. HIGHWAY 76 A BEARING OF N 72-34-35 E A DISTANCE OF 250.58 FEET TO A SET 5/8" REBAR; THENCE A BEARING OF N 18-48-41 W A DISTANCE OF 142.87 FEET TO A SET 5/8" REBAR, SAID POINT BEING THE POINT OF BEGINNING AND CONTAINING 5.92 AC.

Table with 3 columns: EXCEPTION, DESCRIPTION, and NOTES. It lists various survey exceptions such as 'ANY DEFECT, LIE, ENCUMBRANCE, ADVERSE CLAIM, OR OTHER MATTER THAT APPEARS FOR THE FIRST TIME IN THE PUBLIC RECORDS OR IS CREATED, ATTACHED, OR IS DISCLOSED BETWEEN THE COMMITMENT DATE AND THE DATE ON WHICH ALL OF THE SCHEDULE B PART 1 REQUIREMENTS ARE MET' and 'RIGHTS OF CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORDS'.

I HEREBY STATE TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF, THE SURVEY SHOWN HEREIN WAS MADE IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE MANUAL FOR LAND SURVEYING IN SOUTH CAROLINA, AND MEETS OR EXCEEDS THE REQUIREMENTS FOR A CLASS "A" SURVEY AS SPECIFIED THEREIN.

DOUGLAS H. LESLIE S.C.P.L.S. No. 44036

LEGAL DESCRIPTION FROM TITLE COMMITMENT NO. SC25240489R/CCH2401543N1

Table with 2 columns: PLAT BOOK and PAGE. Lists various parcels and their corresponding plat books and pages.

Table with 2 columns: DEED BOOK and PAGE. Lists various deeds and their corresponding deed books and pages.

FOR INFORMATIONAL PURPOSES ONLY ADDRESS: 1310 TIGER BLVD, CLEMSON, SC 29631

\*PROPERTY SHOWN HEREON IS THE SAME AS THE LEGAL DESCRIPTION SHOWN ON SURVEY.

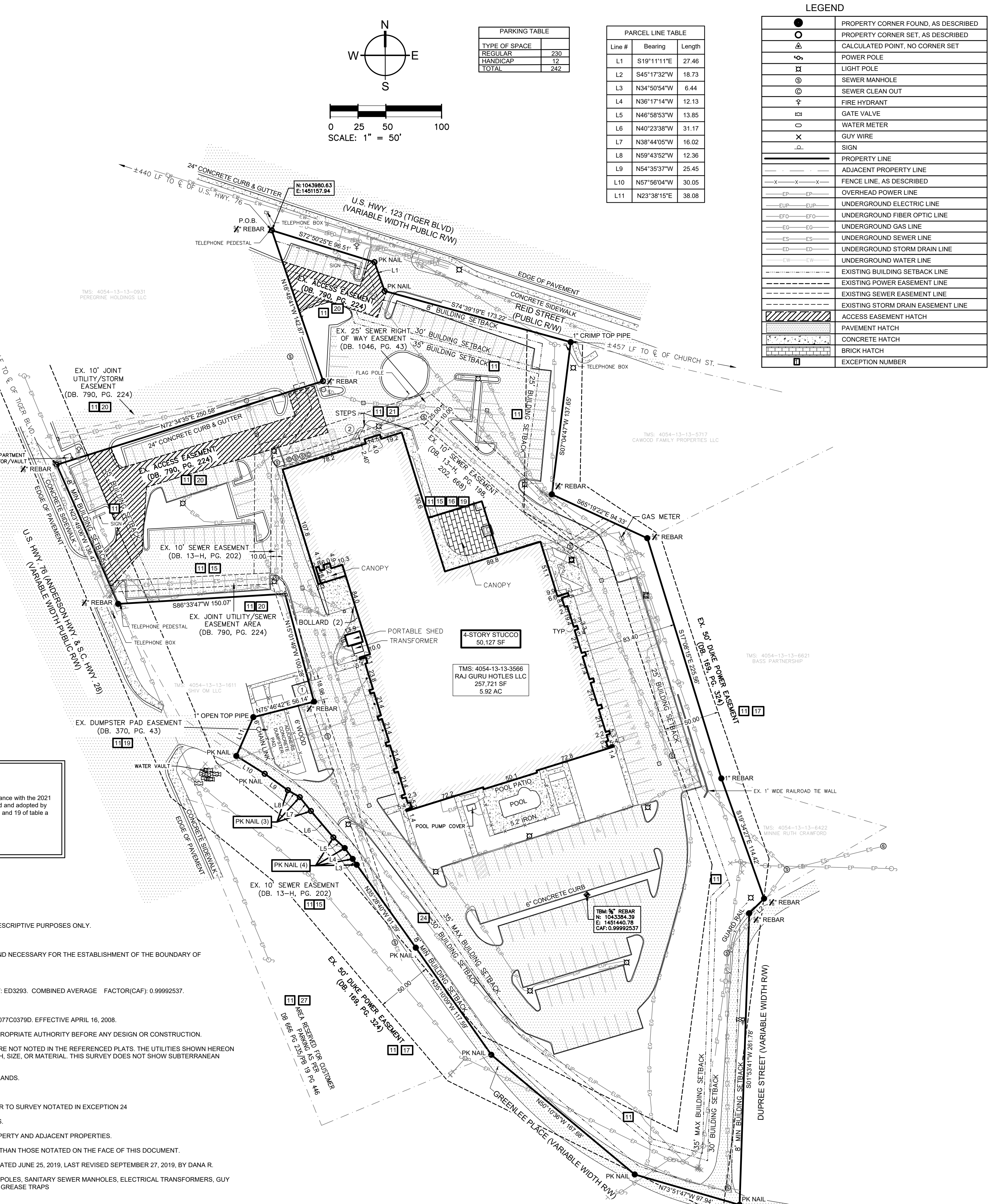
REFERENCES:

Table with 2 columns: PLAT BOOK and PAGE. Lists references to other surveys and documents.

Table with 2 columns: DEED BOOK and PAGE. Lists references to deed records.

FOR INFORMATIONAL PURPOSES ONLY ADDRESS: 1310 TIGER BLVD, CLEMSON, SC 29631

\*PROPERTY SHOWN HEREON IS THE SAME AS THE LEGAL DESCRIPTION SHOWN ON SURVEY.



ENCROACHMENT NOTES

- 1. 18.98' CURB PROJECTION ONTO ADJOINING PROPERTY
2. 2.40' BUILDING PROJECTION INTO S.S.E. NOTE BUILDING PROJECTION APPEARS TO HAVE CHANGED SINCE LAST RECORDED ALTA. SEE EXCEPTION #24

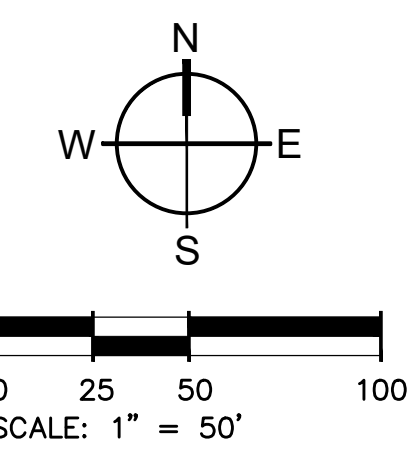
TO: TOLL BROS., INC., A PENNSYLVANIA CORPORATION
RAJ GURU HOTELS LLC
CHICAGO TITLE INSURANCE COMPANY

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA and NSPS Land Title Surveys...

DOUGLAS H. LESLIE S.C.P.L.S. No. 44036

NOTES:

- 1. ANYTHING SHOWN OUTSIDE THE DEFINED BOUNDARY OF THIS PLAT IS FOR DESCRIPTIVE PURPOSES ONLY.
2. AREA DETERMINED BY COORDINATE (DMO) METHOD.
3. THE PUBLIC RECORDS REFERENCED ON THIS PLAT ARE ONLY THOSE USED AND NECESSARY FOR THE ESTABLISHMENT OF THE BOUNDARY OF THIS PROPERTY...
4. BEARINGS ARE BASED ON SOUTH CAROLINA STATE PLANE NAD 83.
5. DISTANCES ARE GROUND DISTANCES. INTERNATIONAL FEET. NGS MONUMENT-ED3293. COMBINED AVERAGE FACTOR(CAF): 0.99992537.
6. ELEVATIONS ARE BASED ON NAVD 88.
7. PROPERTY IS LOCATED IN FLOOD ZONE X AS INDICATED FROM F.I.R.M. PANEL 45077C0379D, EFFECTIVE APRIL 16, 2008.
8. PROPERTY FLOOD ZONES AND SETBACKS SHOULD BE APPROVED BY THE APPROPRIATE AUTHORITY BEFORE ANY DESIGN OR CONSTRUCTION.
9. THIS PROPERTY MAY BE SUBJECT TO VARIOUS UTILITY EASEMENTS THAT WERE NOT NOTED IN THE REFERENCED PLATS. THE UTILITIES SHOWN HEREON WERE BASED ON SURFACE LOCATIONS AND WERE NOT VERIFIED AS TO DEPTH, SIZE, OR MATERIAL. THIS SURVEY DOES NOT SHOW SUBTERRANEAN CONDITIONS.
10. THIS SURVEY DOES NOT DEPICT THE ABSENCE NOR THE PRESENCE OF WETLANDS.
11. EARTH WORK WAS NOT OBSERVED AT THE TIME OF SURVEY.
12. ZONING VERIFICATION LETTER WAS NOT PROVIDED TO THE SURVEYOR. REFER TO SURVEY NOTATED IN EXCEPTION 24
13. ADJACENT PROPERTY OWNERS WERE OBTAINED FROM PICKENS COUNTY GIS.
14. THERE ARE NO GAPS OR OVERLAPS OBSERVED BETWEEN THE SUBJECT PROPERTY AND ADJACENT PROPERTIES.
15. NO ENCROACHMENTS WERE OBSERVED ON THE SUBJECT PROPERTY OTHER THAN THOSE NOTATED ON THE FACE OF THIS DOCUMENT.
16. A SURVEY ENTITLED 'ALTANSPS LAND TITLE SURVEY, BEST WESTERN PLUS, DATED JUNE 25, 2019, LAST REVISED SEPTEMBER 27, 2019, BY DANA R. AUGUSTINE, SC REG. NO. 30293, REVEALS THE FOLLOWING MATTERS:
A. WATER METERS AND WATER VALVES, OVERHEAD POWER, LIGHT AND POWER POLES, SANITARY SEWER MANHOLES, ELECTRICAL TRANSFORMERS, GUY ANCHORS, HYDRANT, STORM, DRAIN MANHOLES, GAS METERS, DROPPERS, GREASE TRAPS;
B. 25', 30', 35' BUILDING SETBACK LINES
C. 18.9' CURB PROJECTION ONTO ADJOINING PROPERTY; AND
D. 7.0' BUILDING PROJECTION INTO S.S.E.



PARKING TABLE with columns: TYPE OF SPACE, REGULAR, HANDICAP, TOTAL.

PARCEL LINE TABLE with columns: Line #, Bearing, Length.

LEGEND table listing symbols for property corners, utility lines, easements, and other features.

SEAMON WHITESIDE logo and contact information for Mount Pleasant, Greenville, Summerville, Spartanburg, and Charlotte, SC.

Professional seals for Douglas H. Leslie, S.C.P.L.S. No. 44036, and Seamon Whiteside & Associates, Inc., S.C. License No. 000472.

AN ALTANSPS SURVEY OF 1310 TIGER BLVD TMS #4054-13-13-3566 OWNED BY RAJ GURU HOTELS LLC. LOCATED IN THE CITY OF CLEMSON PICKENS COUNTY, SOUTH CAROLINA

REVISION HISTORY table with columns: DATE, BY, DESCRIPTION.

SW+ PROJECT: 11345
DATE: 06/12/25
DRAWN BY: BFW
CHECKED BY: DHL
CC: MB
SHEET: 1 OF 1

Table with 2 columns: DATE, BY. Shows revision history for 08/15/24 and 06/12/25.