



CITY OF  
**Clemson**  
PLANNING &  
DEVELOPMENT

## **Notice of Public Hearing**

The City of Clemson City Council will hold a public hearing on the matter listed below beginning at **5:30 p.m. on Monday, June 15, 2026** in the Council Chambers in City Hall, 1250 Tiger Boulevard, Clemson, SC 29631. Comments on the matter may be submitted in person during the hearing, and in writing through the MyCivic app on the City's website prior to the session.

### **Hearing Topic:**

#### **Proposed Planned Development (1310 Tiger Blvd)**

An application for a proposed planned development was received from Mr. Doug Smythe of Toll Brothers Development (subsequently acquired by Kennedy Wilson) on October 10, 2025. The project site is proposed to be located on a parcel (TMP# 4054-13-13-3566) near the intersection of US 123 (Tiger Boulevard) and US 76 (Anderson Highway). As proposed, the project would replace the existing Best Western Hotel with a 6-story mixed-use student-focused multifamily complex with approximately 226 units and 752 beds. The project will also include a 15,000+ sq.ft. retail component, and a 566-space parking garage. The Planning Commission approved a positive recommendation on the proposal to City Council on May 11, 2026.

Links to copies of documents will be published on the Agenda Center page of the City website.

Contact the Planning and Development Department (864-653-2050) for more information.

Proposed Planned Development (1310 Tiger Blvd)  
June 15, 2026 Public Hearing

**Proposed Planned Development (1310 Tiger Blvd)**

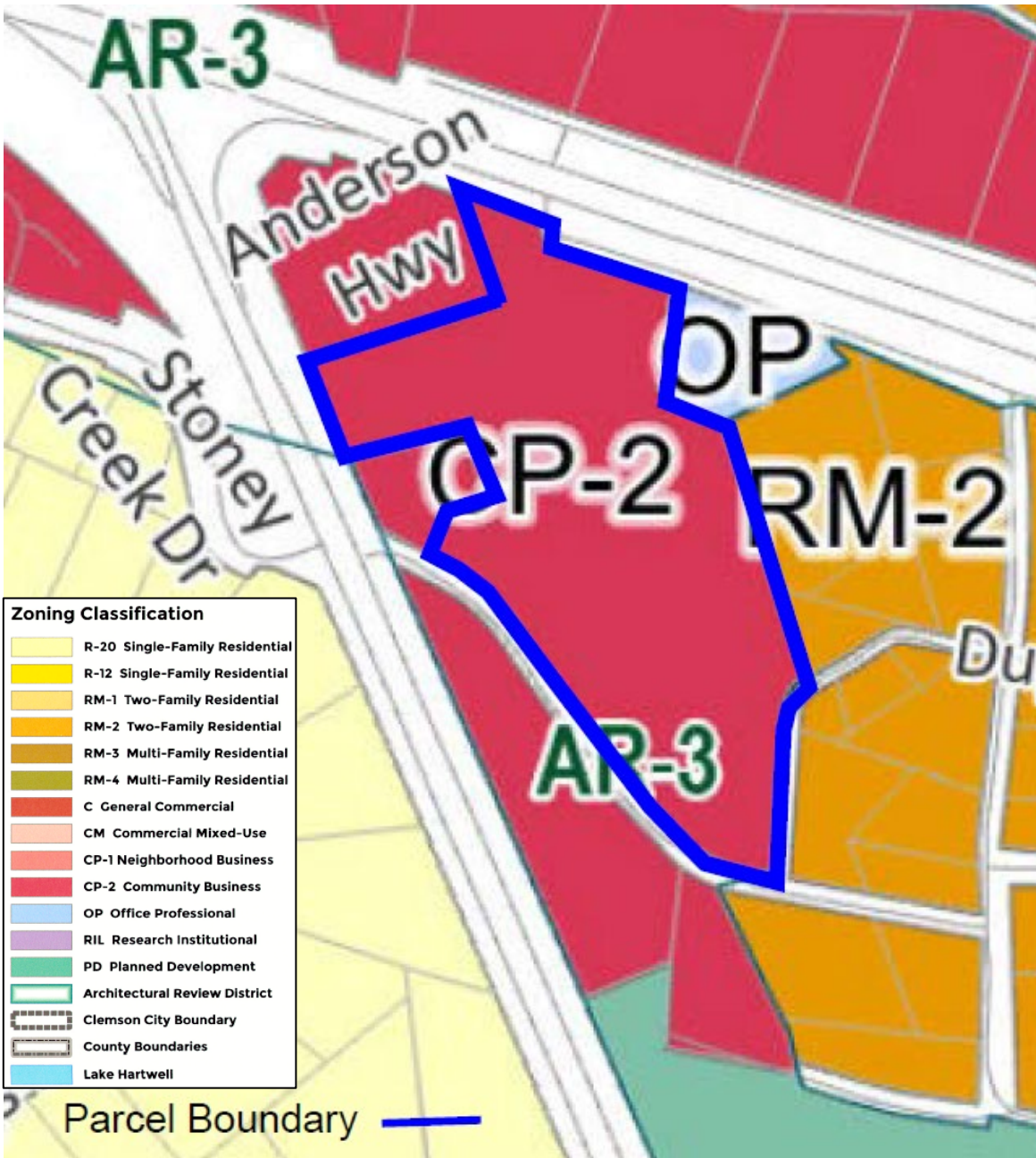
**Report**

June 15, 2026



### Current Zoning

The current zoning of the property on which the project is proposed to be located is CP-2 Community Business District, which is a district intended to provide for areas within the community where commercial and business development supports community-wide shopping centers and business complexes of greater magnitude than permitted by the CP-1 district.



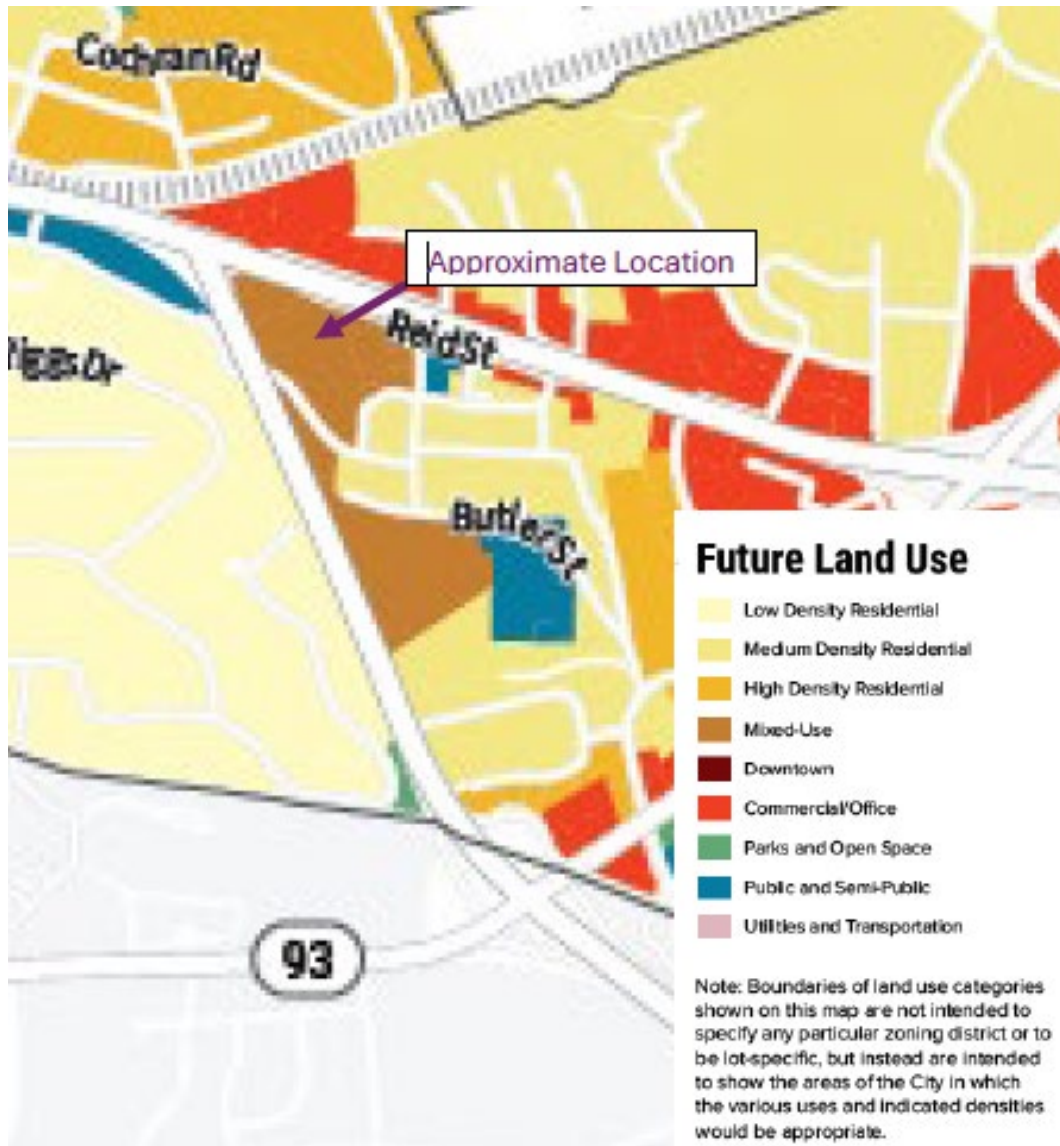
## Existing Development

Tax records show that the existing 82,844 sq.ft. 4-story hotel was built in 1982. The streetview images below illustrate existing conditions as seen from both US 123 and US 76.



## Future Land Use

The Future Land Use Map in the Comprehensive Plan shows the property being recommended for mixed-use, which is consistent with the current proposal.



## **Review Process Status**

A concept presentation workshop, the first of the three required Planning Commission sessions in a planned development review, was held on November 10, 2025. Due to significant changes being made to the proposal following the initial session, a second concept presentation workshop was held on January 13, 2026 to ensure the Commission was duly informed prior to moving ahead. Following that, the required public session was held on February 9, 2026. The Planning Commission conducted their final review of the matter at their May 11, 2026 meeting, following which they approved a positive recommendation to City Council on the proposal. A public hearing will be held by Council on June 15, 2026.

### Site Plan



\*See published plan set for more details

## Application

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**CITY OF  
Clemson**  
PLANNING &  
DEVELOPMENT

1250 Tiger Blvd, Suite 4 • Clemson, SC 29631-2662  
 (864) 653-2050  
 Fax (864) 653-2057  
 www.cityofclemson.org

PC

### PLANNING COMMISSION PLANNED DEVELOPMENT APPLICATION – FORM 3 ZONING MAP AMENDMENT

Please complete in ink and return to the Planning and Codes Administration Department with required attachments, information, and filing fee. Planned Development Zoning Map Amendment applications require a **filing fee of \$1000**, a current survey of the property, a copy of the deed, a designation of agent if owner is not the applicant, and all required information as required by City code. **Incomplete applications will not be accepted.**

File no.: R - _ _ _	PIN: _ _ _ - _ _ - _ _ _	Date submitted: / /	Planning Commission meeting date: 05 / 11 / 2026
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OWNER(S) INFORMATION			
Last name: Patel	First: Haresh	Middle:	Interest <input checked="" type="checkbox"/> Sole owner <input type="checkbox"/> Co-owner
Mailing address: 171 Palisade Drive	City: Brunswick	State: GA	ZIP Code: 31523
Daytime phone no.: ( 912 ) 571-6121	Fax no.: (    )	E-mail: hareshcpatel@bellsouth.net	

APPLICANT INFORMATION			
<i>To be completed only if Owner is not Applicant:</i>			
Applicant's last name: Smythe	First: Doug	Middle:	
Mailing address: 1800 M Street NW, #950N	City: Washington	State: DC	ZIP Code: 20036
Daytime phone no.: ( 216 ) 408-3882	Fax no.: (    )	E-mail: dsmythe@kennedywilson.com	

PROPERTY INFORMATION			
Property address: 1310 Tiger Blvd., Clemson SC	Property dimensions:	Property area: 5.92 acres	Current zoning district: CP-2

DESIGNATION OF AGENT		
<i>To be completed by Owner(s) only if Owner is not Applicant. All owners must sign.</i>		
I (we) hereby appoint the person named as Applicant as my (our) agent to represent me (us) in this request for a planned development rezoning. By signing below, I (we) understand that the planned development application consists of three (3) separate forms and my (our) agent may represent me (us) in all three phases of the application process. I (we) certify that all information in this request is correct.		
Haresh Patel		Apr 13, 2026
Owner name	Owner signature	Date
Owner name	Owner signature	Date
<i>To be completed by Applicant:</i>		
I certify that the information in this request is correct.		
Doug Smythe		04/13/2026
Applicant name	Applicant signature	Date

Rev. 11-14-05; 06-15-07

Proposed Planned Development (1310 Tiger Blvd)  
 June 15, 2026 Public Hearing

REQUIRED INFORMATION			
<i>For the purpose of processing and coordination of this application, the following person is my (our) designated contact person:</i>			
CONTACT PERSON			
Last name: Stillwell	First: Rivers	Name of firm, if applicable: Maynard Nexsen	
Mailing address: 104 South Main Street, Suite 900	City: Greenville	State: SC	ZIP Code: 29601
Daytime phone no.: ( ) (864) 232-1168	Fax no.: ( )	E-mail: rstillwell@maynardnexsen.com	
PROJECT DEVELOPER			
Last name: Smythe	First: Doug	Name of firm: Kennedy-Wilson	
Mailing address: 1800 M Street NW, #950N	City: Washington	State: DC	ZIP Code: 20036
Daytime phone no.: ( ) 216 408-3882	Fax no.: ( )	E-mail: dsmythe@kennedywilson.com	
PROJECT ARCHITECT			
Last name: Sacks	First: Josh	Name of firm: Dwell Design Studio	
Mailing address: 1280 Hightower Trail	City: Atlanta	State: GA	ZIP Code: 30350
Daytime phone no.: ( ) 470-668-0770	Fax no.: ( )	E-mail: jsacks@dwelldesignstudio.com	
PROJECT ENGINEER			
Last name: LeBrun	First: Aaron	Name of firm: Seamon Whiteside	
Mailing address: 701 Easley Bridge Rd	City: Greenville	State: SC	ZIP Code: 29464
Daytime phone no.: ( ) (843) 884-1667	Fax no.: ( )	E-mail: alebrun@seamonwhiteside.com	

## **WRITTEN ORDINANCE – 1310 Tiger Boulevard Mixed-Use Planned Development**

### **Section 101 - Descriptive Statement**

The provisions of this Ordinance shall apply to the 1310 Tiger Boulevard Mixed-Use Planned Development (“Planned Development” or “PD”), located within the corporate limits of the City of Clemson, Pickens County, South Carolina, at the intersection of U.S. Highway 123 (Tiger Boulevard) and U.S. Highway 76. The property is currently developed with a four-story hotel and associated surface parking and is proposed to be redeveloped as a mixed-use development consisting of ground-level commercial uses, student-oriented multifamily residential uses, structured and surface parking, and associated public and private open spaces.

This Ordinance is intended to regulate and guide the redevelopment of the subject property by establishing use limitations, development standards, design criteria, and performance requirements tailored to the unique characteristics of the site. Adoption of this Ordinance shall supersede the underlying zoning district regulations to the extent of any conflict, while remaining subject to all applicable City of Clemson codes and ordinances not expressly modified herein.

Ownership of the development shall remain private. All buildings, parking areas, open spaces, landscaping, amenities, and internal circulation improvements shall be owned, operated, and maintained by the property owner or its successors in interest, except for utilities and public improvements expressly dedicated to the City of Clemson, which shall be constructed and dedicated in accordance with City standards.

### **PROPOSED USES**

The Planned Development shall consist of the following principal use areas and associated improvements, as generally shown on the approved PD Site Plan:

#### **Area 1: Open Space and Public Realm Improvements**

The Planned Development shall include public and private open space areas consisting of plazas, pedestrian paseos, sidewalks, streetscape improvements, landscaped buffers, courtyards, rooftop amenity areas, and related hardscape features. Public-facing open space areas shall include seating, lighting, landscaping, bicycle parking, trash receptacles, pet waste stations, and pedestrian amenities designed to support walkability and place-making along Tiger Boulevard and U.S. Highway 76. All open space areas shall be owned and maintained by the property owner unless expressly dedicated to the City of Clemson.

#### **Area 2: Commercial Area**

The Planned Development shall include a commercial area consisting of approximately 15,650 square feet of single-story retail, restaurant, food and beverage, fitness, and personal service uses, including active patio and outdoor seating areas. Commercial units shall have a minimum depth of 40 feet. Commercial uses shall be oriented toward Tiger Boulevard and the internal public plaza and may include restaurants, coffee shops, fitness studios, salons, and similar neighborhood-serving uses. All commercial spaces shall be provided with required utilities and associated parking in accordance with this Ordinance and the

approved PD Site Plan. A minimum of three (3) 1,500-gallon grease traps shall be installed to serve the commercial uses. Chases for hood vents shall be installed to serve at least 50% of the commercial square feet. Commercial spaces may be delivered as warm shell unless otherwise required by this Ordinance.

### Area 3: Student Multifamily Rental Housing

The Planned Development shall include student-oriented multifamily rental housing consisting of a maximum of 226 dwelling units and a maximum of 752 beds, located within a mixed-use building as described in Section 108. Residential units shall be marketed primarily to students and may include a mix of studio, one-bedroom, two-bedroom, three-bedroom, four-bedroom, and five-bedroom units (not to exceed 10% of the total number of residential units). Residential uses shall include customary accessory amenities such as leasing offices, lobby areas, fitness facilities, club rooms, study areas, interior courtyards, and rooftop amenity spaces. Maximum occupancy, density, and bedroom counts shall be governed by Section 111 of this Ordinance.

### Area 4: Parking Facilities

Parking for the Planned Development shall be provided through a combination of structured and surface parking, including a multi-level parking garage containing 566 spaces and 71 surface parking spaces. Parking shall be allocated as follows: a minimum of 67 commercial spaces; a minimum of 15 spaces for commercial employees; a minimum of 530 and maximum of 540 spaces for residential use; and a minimum of 20 spaces for residential guests. Shared parking arrangements are expressly permitted. Signage shall be installed designating commercial parking spaces for commercial use only, explicitly stating the commercial operating hours. The property owner shall be responsible for enforcement.

### Accessory Uses

Accessory uses customarily incidental and subordinate to the permitted uses described above shall be allowed, including but not limited to refuse and recycling facilities, utility infrastructure, loading areas, bicycle parking, signage, and site amenities.

## **ACCESS**

### **Vehicular Access**

Vehicular access to the Planned Development shall be provided as follows:

- (a) Primary vehicular access shall be provided from U.S. Highway 123 (Tiger Boulevard);
- (b) Secondary vehicular access shall be provided from U.S. Highway 76;
- (c) Vehicular access shall be provided from Greenlee Place, and the exit onto Greenlee Place shall be constructed and signed to prohibit left turns;
- (d) Internal circulation connections shall be provided as shown on the approved PD Site Plan.

Access locations may include full-movement and/or restricted-movement driveways as approved by the City of Clemson and the South Carolina Department of Transportation, as applicable.

### **Pedestrian Access**

Pedestrian access to the Planned Development shall be provided as follows:

- (a) Direct pedestrian access shall be provided to the public right-of-way along U.S. Highway 123 (Tiger Boulevard);
- (b) Direct pedestrian access shall be provided to the public right-of-way along U.S. Highway 76;
- (c) Pedestrian access shall be provided along Greenlee Place, including construction of a new sidewalk; and
- (d) Internal pedestrian circulation shall connect commercial areas, residential building entrances, parking facilities, open space areas, and public plaza spaces.

As part of the project, enhanced streetscape improvements shall be constructed along the project frontage, including sidewalks, pedestrian lighting, landscaping, and related amenities, consistent with City of Clemson standards. Final design and alignment of pedestrian facilities shall be approved by the Zoning and Codes Administrator or the Board of Architectural Review.

### **Integration with Transit and Alternative Modes of Transportation**

The Planned Development shall incorporate access to public transit and alternative modes of transportation. A new bus shelter and associated improvements shall be provided along U.S. Highway 76 as shown on the approved PD Site Plan. The development shall include a minimum of 64 bicycle parking spaces (equal to 10% of the total vehicle parking spaces provided). Due to the site's proximity to Clemson University and surrounding neighborhoods, the development shall also include scooter parking, which may be provided within the parking garage. The development shall include pedestrian connections with property lighting designed to support walking, cycling, and transit use. A designated rideshare drop-off and pick-up area shall be provided with appropriate signage.

The project is located within proximity to existing Clemson Area Transit (CAT) routes and is designed to provide connectivity between the surrounding roadway network, nearby neighborhoods, and Clemson University.

### **Ownership and Covenants/Conditions/Restrictions**

Ownership of the Planned Development shall remain private. All future property owners shall be bound by and subject to the provisions of this Ordinance. Management, operation, and maintenance of the development shall be the responsibility of the property owner and/or a property management entity retained by the owner.

Any covenants, conditions, and restrictions applicable to the property shall be consistent with and governed by this Ordinance. No private restriction shall be recorded that conflicts with the provisions of this Ordinance.

### **Community Open Space for Residents**

In addition to public open space areas, the Planned Development shall include community open space and amenity areas reserved for use by residents. These areas may include interior courtyards, rooftop amenity decks, pool areas, fitness and recreation spaces, and other resident-serving amenities as shown on the approved PD Site Plan. All rooftop amenities shall be open only from 9:00 a.m. to 10:00 p.m.

### **Impact on Public Facilities**

Development of the Planned Development will impact public facilities including water, sanitary sewer, stormwater infrastructure, fire protection, police protection, emergency services, and transportation facilities. Any improvements required to serve the development shall be constructed or funded by the developer in accordance with City of Clemson requirements. The developer shall be responsible for all applicable impact fees, utility connection fees, and off-site improvements identified through the development review process. Public utility infrastructure shall be dedicated to the City of Clemson where required, subject to applicable bonding and easement requirements.

### **Section 102 - Index of Exhibits**

Exhibit [A]: Legal Description

Exhibit [B]: PD Site Plan

Exhibit [C]: PD Architectural Set

Exhibit [D]: PD Landscape Plan and Lighting Plan

Exhibit [E]: PD Utility Plan

Exhibit [F]: PD Grading and Stormwater Plan

Exhibit [G]: [Other approved exhibits, if any – TBD]

### **Section 103 - Offsite Improvements**

The developer shall be responsible for offsite and public improvements required to serve the Planned Development, including any necessary extensions or upgrades to public water, sanitary sewer, and stormwater infrastructure, as well as the following:

- Stormwater Improvements required on the site and within the public right-of-way directly in front of the development, to bring the site into compliance with applicable local and state requirements for water quality and quantity.
- Water system improvements necessary to serve the development, including upgrades or extensions to the public water system as required by the City of Clemson.
- Sanitary sewer improvements necessary to serve the development, including upgrades or extensions to the public sanitary system as required by the City of Clemson.
- Sidewalk improvements including construction of a new sidewalk along Greenlee Place as shown on the approved PD Site Plan.

- Sidewalks along Greenlee Place and Church Street, not to exceed 1,400 linear feet, as determined by the City Engineer.
- Reid Street traffic calming measures as determined by the City Engineer.
- Transit improvements including provision of a new bus shelter along U.S. Highway 76 at/near the existing bus stop, as shown on the approved PD Site Plan.
- Additional Improvements as may be identified during the development review, permitting, or agency coordination processes, including any required right-of-way, drainage, curb and gutter, or signal/striping modifications.
- Community benefits:

Item	Dollars
City Donation for CAT Bus	\$750,000
Golden View Church - Parking Lot Repaved	\$50,000
Golden View Church - other deferred maint.	\$50,000
Golden View Church - New Roof	\$75,000
City Donation for affordable housing production or housing repair and aging in place upgrades for low-income residents	\$200,000
City Donation for CAAM	\$150,000
Two Bus Shelters at Highway 76	\$50,000
Retail Leasing Incentives	\$500,000
	<hr/>
	\$1,825,000

#### **Section 104 – Permitted Uses**

Use of the property will consist of public and private open space, plazas, courtyards, sidewalks, and pedestrian amenities; commercial uses, including but not limited to restaurants, coffee shops, retail establishments, fitness studios, and personal service uses; student-oriented multifamily rental housing with associated amenities; structured and surface parking, including designated public parking spaces. All uses allowed in the CP-2 zoning district are allowed in the commercial areas.

#### **Section 105 – Bonding of Vacant Commercial Space**

A bond in an amount equal to 150% of the estimated cost for building out the commercial space (based on the current average cost for commercial construction in the area as determined by the City) shall be posted at the time of the issuance of the first Certificate of Occupancy issued for any portion of the residential component of the mixed-use structure. The bond, which shall have a 2-year expiration date, may be either a cash or surety bond, and shall be released upon completion of the upfit of the commercial

space. In the event the commercial space upfit is completed by units or phases, the bond amount may be proportionately reduced based on square footage as the space is occupied by a viable commercial entity possessing a business license issued by the City. The City shall reserve the right to call the bond for any uncompleted commercial space two weeks prior to the expiration of the bond.

**Section 106 - Hours of operation**

Hours of operation of the commercial tenants will conform to CP-2 zoning district standards, as well as city and state regulations.

**Section 107 – Site**

The Planned Development consists of approximately 5.92 acres located at 1310 Tiger Boulevard, Clemson, South Carolina. The site is generally bounded by U.S. Highway 123 (Tiger Boulevard), U.S. Highway 76, Greenlee Place, Reid Street, Dupree Street, and adjacent commercial properties.

The property is currently developed with a four-story hotel and associated surface parking and will be redeveloped in accordance with this Ordinance.

**Section 108 – Standards and Dimensions**

Minimum/Maximum lot area(s) – N/A

Minimum/Maximum lot width(s) – N/A

Minimum building setback (from property line) –

Reid Street: 8' Minimum

Anderson Hwy/ US HWY 76: 8' Minimum

Greenlee Place: 8' Minimum

Dupree Street: 8' Minimum

Abutting residential: 30' Minimum

Abutting commercial: 8' Minimum

Site buffers –

Residential: Modified 15' Type (C) - Each 100 linear feet shall include: (i) three (3) deciduous/flowering understory trees; (ii) four (4) understory evergreen trees, such as dwarf magnolia, Nellie Stevens holly, or similar species; (iii) thirty (30) evergreen/deciduous shrubs, with a minimum of 50% evergreen shrubs; and (iv) an eight-foot (8') high wooden shadowbox fence. Final planting design shall be coordinated with

Duke Energy and shall remain subject to any applicable Duke Energy easement requirements and restrictions.

OC Zoning: 5' Type (A)

Greenlee Place: 10' Type (G)

Maximum structure height – Structure height for this section is measured as the vertical dimension between the average grade along the Greenlee Place building frontage, and top of the roof.

- Maximum height of mixed use building: six (6) stories 75'-8" Max Height (73'-2" actual from Plaza elevation), excluding elevator/stair overruns and mechanical penthouses.
- Maximum height of parking structure: up to seven (7) tiers or 84'-8" Max (84'-7.25" Actual from Plaza elevation), excluding parapets and screening elements.

### **Section 109 – Impervious Area**

Impervious materials will include the building, sidewalks, curb and gutter, patios, asphalt paving, etc. Maximum impervious coverage will be 75%.

### **Section 110 –Open Space**

Open space shall consist of public and private areas including plazas, courtyards, landscaped buffers, sidewalks, hardscape, and rooftop amenity areas as shown on the approved PD Site Plan. The Planned Development shall include a publicly accessible plaza area of approximately 7,215 square feet and shall preserve and/or enhance natural buffer areas along Greenlee Place and Dupree Street to the extent depicted on the approved PD Site Plan. All open space shall be owned and maintained by the property owner unless expressly dedicated to the City of Clemson.

The minimum open space will be 35%.

Public open space on the property shall be governed by a use and liability agreement to be established between the developer (property owner) and the City.

### **Section 111 – Occupancy/Density**

Occupant means a natural family or an individual unrelated by blood to a second degree of consanguinity, marriage, adoption, or guardianship to any other occupant of the dwelling unit. A natural family shall be counted as one occupant.

Occupancy for all residential units shall be limited to two (2) occupants per bedroom.

The maximum number of dwelling units, bedrooms, and beds permitted within the Planned Development shall be limited as follows:

Maximum dwelling units: 226

Maximum bedrooms: [•]

Maximum beds: 752

### **Section 112 – Design Standards**

Building materials and architectural character shall be consistent with the conceptual architectural plans presented to the Board of Architectural Review, including the use of brick masonry, metal panels, fiber cement panels, glazing systems, and complementary contemporary materials.

### **Section 113 – Parking/Circulation**

Parking and circulation for this PD shall adhere to Chapter 19 - Article VIII of the City of Clemson Code of Ordinance, except as may be modified herein.

The Planned Development shall include 566 structured parking garage spaces and 71 surface parking spaces. Parking shall be allocated as follows: a minimum of 67 commercial spaces; a minimum of 15 spaces for commercial employees; a minimum of 530 and maximum of 540 spaces for residential use; and a minimum of 20 spaces for residential guests. Residential parking will be provided at a 70% ratio of parking garage spaces to beds.

All roads will meet emergency access and Fire Code standards.

### **Section 114 – Landscaping/Buffers**

All landscaping and buffering shall be installed in accordance with a Final Landscape Plan approved by the Board of Architectural Review or Director of Urban Land Management. Landscaping shall include street trees, buffer plantings, plaza landscaping, and screening of service and utility areas.

### **Section 115 - Signage**

Signage for this PD shall adhere to Chapter 19 - Article VII of the City of Clemson Code of Ordinance and will conform to the standards of the CP-2 District and the AR-3 architectural review district. Final Signage & Illumination Plan will be completed to meet the requirements during the permitting process, which may include BAR approval.

### **Section 116 – Lighting**

Proposed light locations are shown on the [PD Lighting Plan] which shows lighting installed on building and/or street lighting necessary to illuminate any public sidewalk. A lighting photometric plan will be completed to meet City of Clemson Lighting Ordinance during permitting process.

### **Section 117 – Utilities**

Project will be serviced by City of Clemson water and sanitary sewer. Connection and service fees will be the responsibility of the developer.

Increases in fire, police, emergency management, and roadway use will be offset by substantial increase in property taxes and sales tax generated by commercial and residential components of development.

#### **Section 118 – Connectivity**

The Planned Development will have direct access to the public right of way. The developer will make a capital contribution to the CATBus System and add a new bus shelter along US-76 for the utilization of the development's residents and the surrounding neighborhood.

#### **Section 119 – Stormwater**

Stormwater management facilities shall comply with all local and state requirements and shall be maintained by the property owner unless otherwise dedicated.

#### **Section 120 – Trash**

Trash collection shall be provided by the City of Clemson. In the event the City of Clemson is unable to provide such service, the developer shall utilize a private trash collection company.

#### **Section 121 – Maintenance**

The property owner shall be responsible for all maintenance of the Planned Development in perpetuity, including buildings, parking areas, open spaces, landscaping, lighting, signage, stormwater facilities, and internal circulation improvements, except for public utilities or public improvements dedicated to the City of Clemson.

The exterior of all buildings and all land and hardscapes shall be kept clean and free of junk and debris. The Zoning Official may require power washing of any surface that has become unsightly due to mold, dirt, or residue.

#### **Section 122 – Construction Activity**

Construction hours and noise guidelines shall adhere to Sec 13-10 of the City of Clemson Code of Ordinances. Construction Schedule and Site Management Plan for allowable construction times and sequencing will be submitted by Developer and Contractor for approval during permitting.

#### **Section 123 – Transfer of Ownership**

This Ordinance will remain in place through any transfer of ownership of property. Any transfer of ownership of the property does not release the property owner of maintenance and management of property per this Ordinance. Any new owner will take over maintenance and management per this Ordinance. Nothing herein shall be construed to limit developer's right to sell, assign or convey the project in accordance with applicable law.

#### **Section 124 – Future Zoning District Inclusion**

In the event the City of Clemson creates a zoning district that is materially consistent with this Planned Development, the property owner(s) and their heirs or assigns shall not object to the inclusion of the property within such a district, provided that:

(a) the right to rebuild in accordance with the approved site plan and density is preserved; and

(b) no additional restrictions or conditions are imposed that would:

(i) limit or prohibit student housing;

(ii) require affordability set-asides or income restrictions;

(iii) reduce approved building height, parking ratios, or residential unit count; or

(iv) otherwise conflict with the uses, entitlements, or development standards established under this Planned Development.

EXHIBIT A  
LEGAL DESCRIPTION

All that certain piece, parcel or lot of land, with all improvements thereon, lying and being in the State of South Carolina, County of Pickens, being shown and designated as Parcel #1, containing 5.919 acres, more or less, on plat entitled "Subdivision Plat for Upstate Hotel Associates, LLC prepared by Freeland & Associates, Inc., dated September 26, 2003, last revised October 29, 2003, recorded in the Office of the Register of Deeds for Pickens County in Plat Book 488 at Page 1, and shown as 5.919 acres, more or less, on a more recent survey entitled "ALTA/ACSM Land Title Survey prepared for Herli Aum, LLC", prepared by Site Design, Inc., dated July 28, 2006, last revised on October 10, 2006, recorded in the Office of the Register of Deeds for Pickens County in Plat Book 564 at Page 15, reference being made to the most recent survey for a more complete metes and bounds description hereof.

PD Application #3

# 1310 Tiger Blvd.

Clemson, SC

Dry Goods

Fit Studio

Market Pant

# Project Team Introduction

**KENNEDY WILSON**

**Owner/Developer:**  
Kennedy Wilson



**Architect:**  
Dwell Design Studio

**Revel**

**Retail Real Estate Consultant:**  
Revel



**Landscape Architect:**  
Ironwood Design Group



**Civil Engineering:**  
Seamon Whiteside

- 01 Site Maps*
- 02 Concept Site Plan*
- 03 Concept Renderings*
- 04 Concept Floor Plans*
- 05 Concept Building Elevations*
- 06 Material Board + Signage*



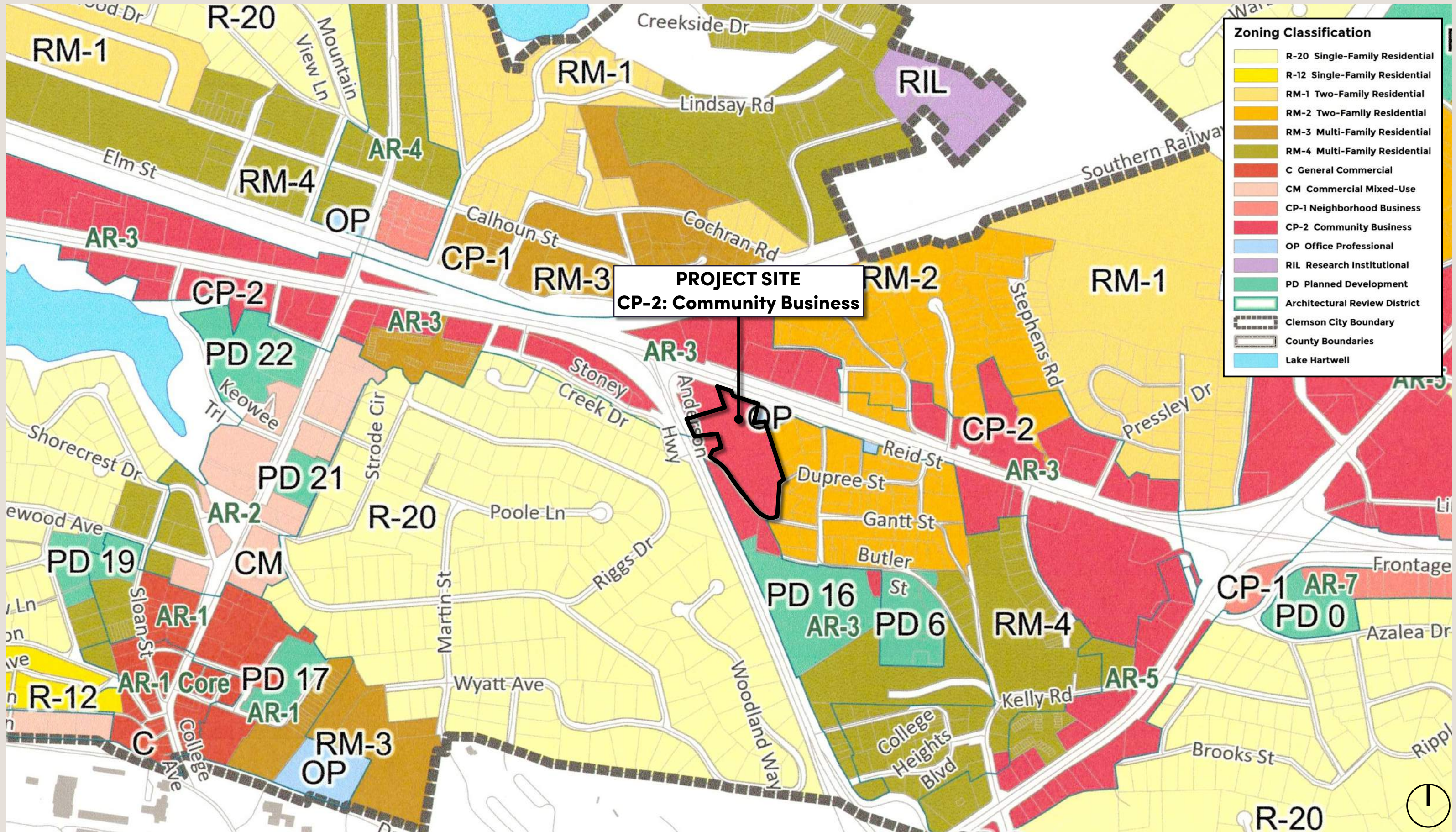
# Clemson Context Map

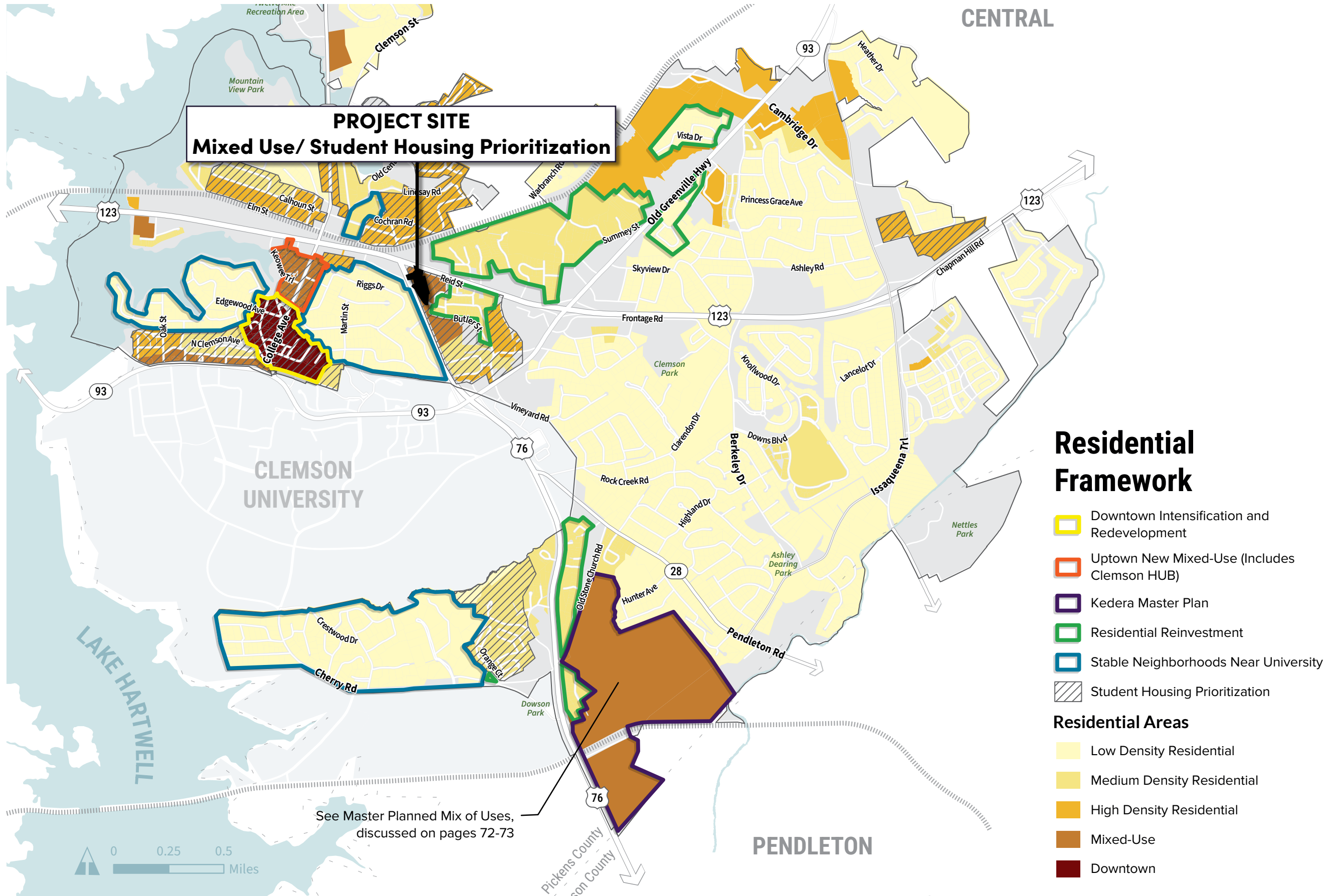


# Clemson Context Map



# Existing Zoning Map



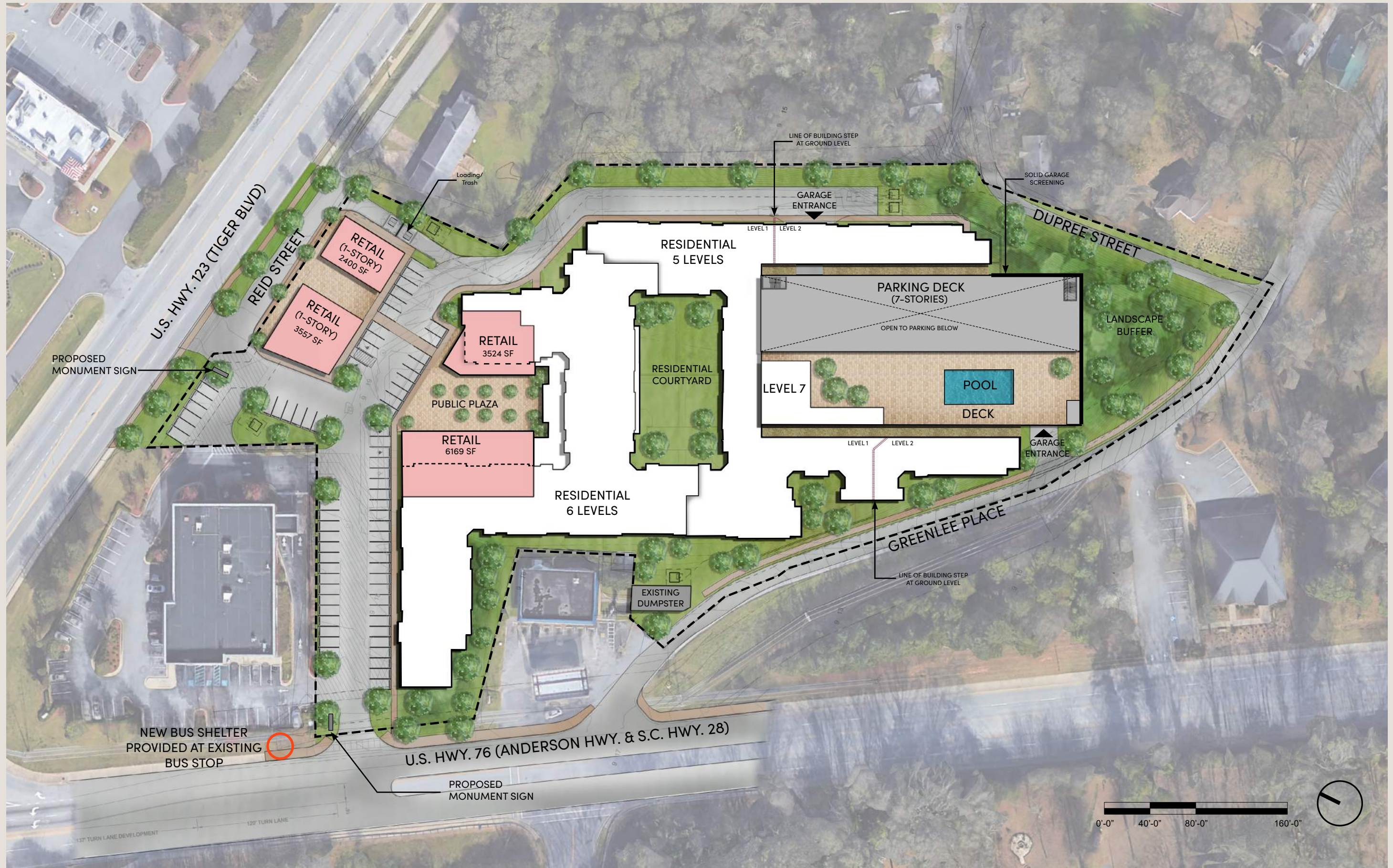




# Existing Conditions



# Current - Concept Site Plan



## 03 Concept Renderings



Project Entry View from Tiger Blvd. facing South



View of Retail/ Lobby Plaza facing Guest Parking



View from within Retail/ Lobby Plaza



Overhead View of Retail/ Lobby Plaza



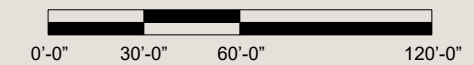
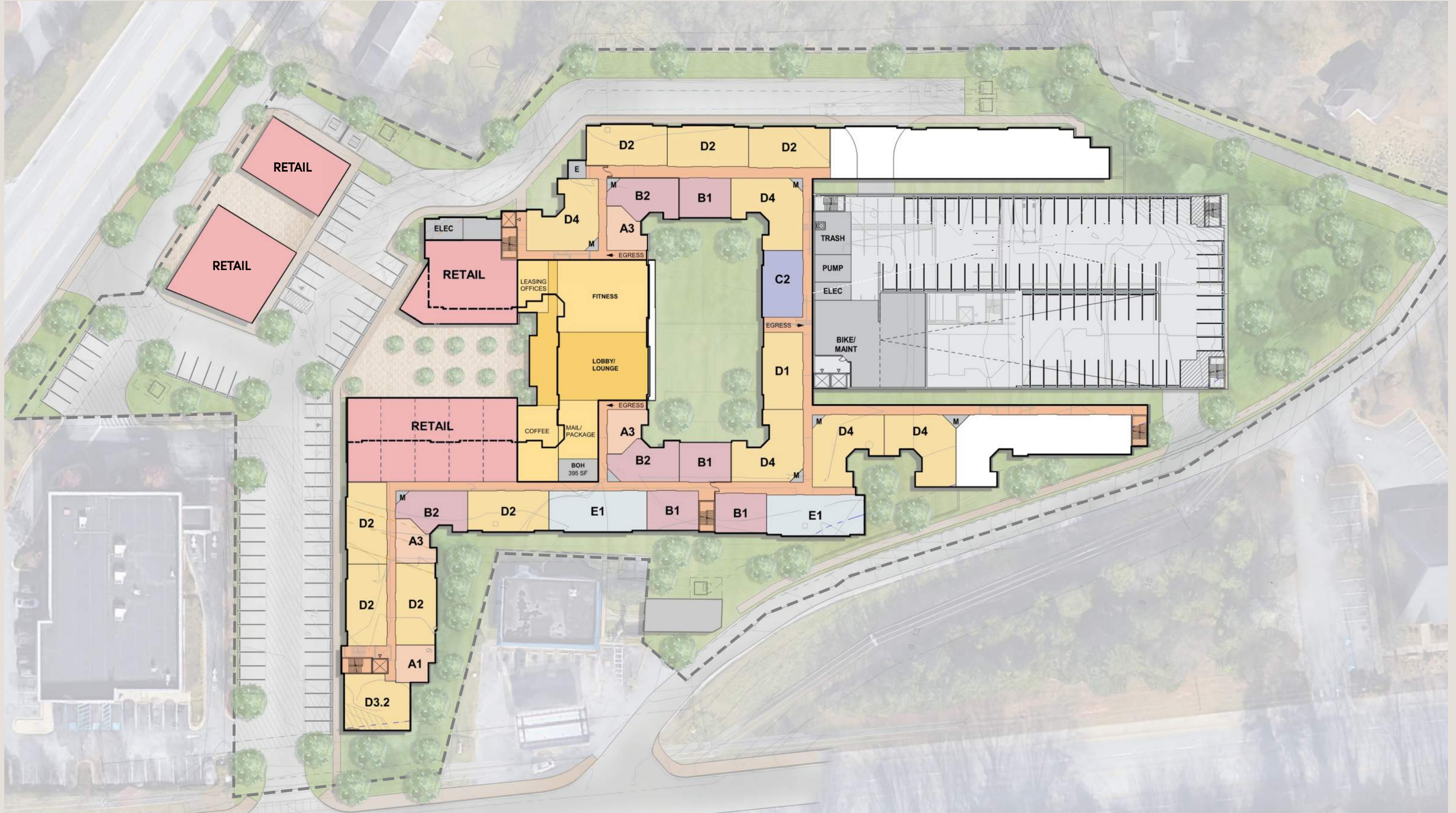
View of Retail Building Paseo - On Axis with Retail/ Lobby Plaza



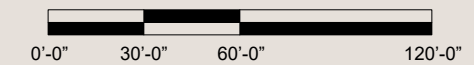
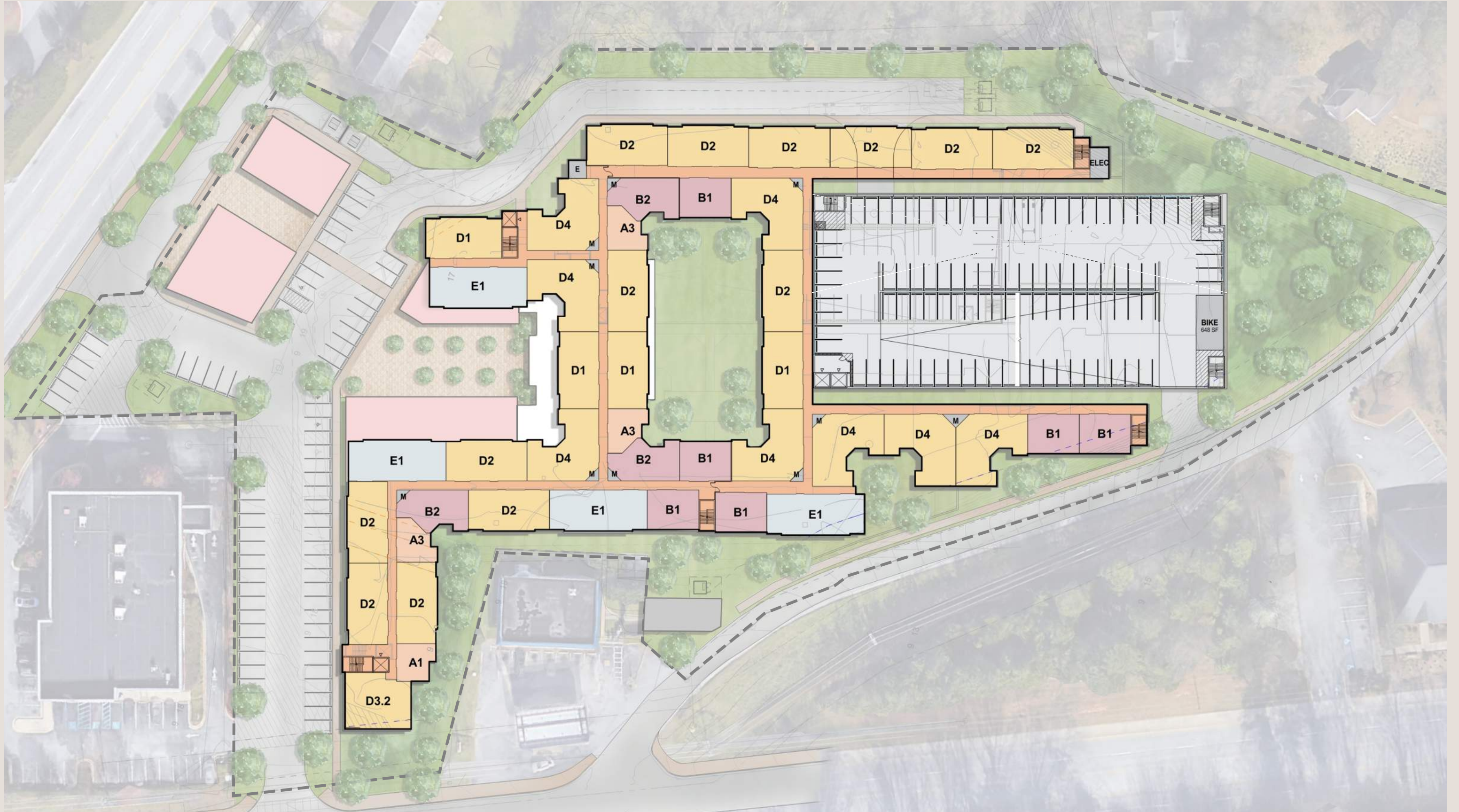
View of Retail Building Paseo - On Axis with Retail/ Lobby Plaza



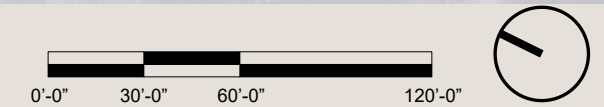
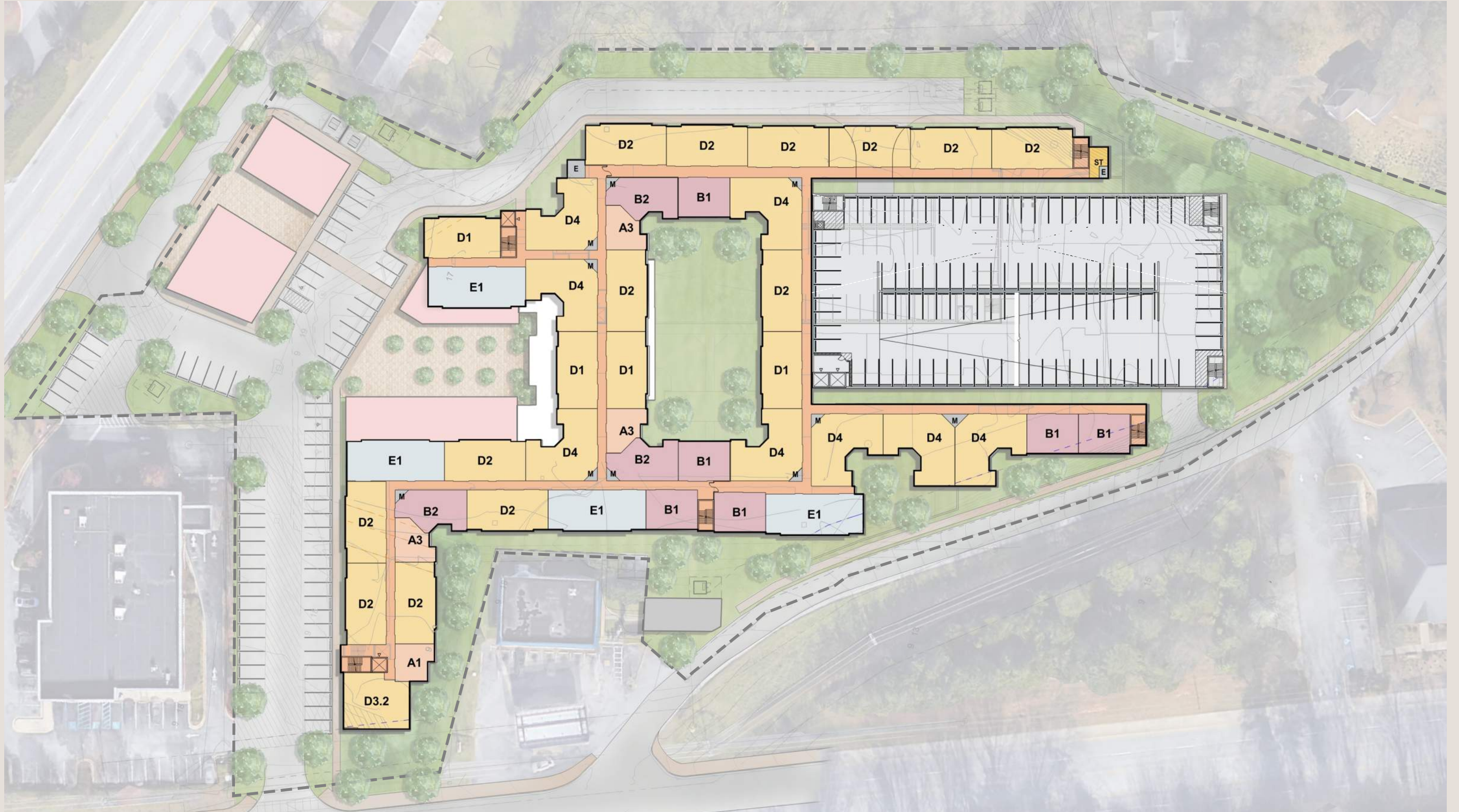
# Concept Plan: Level 1



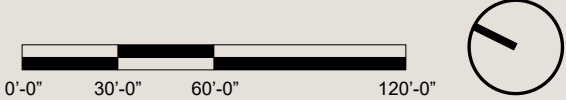
# Concept Plan: Level 2



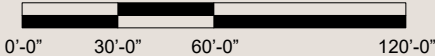
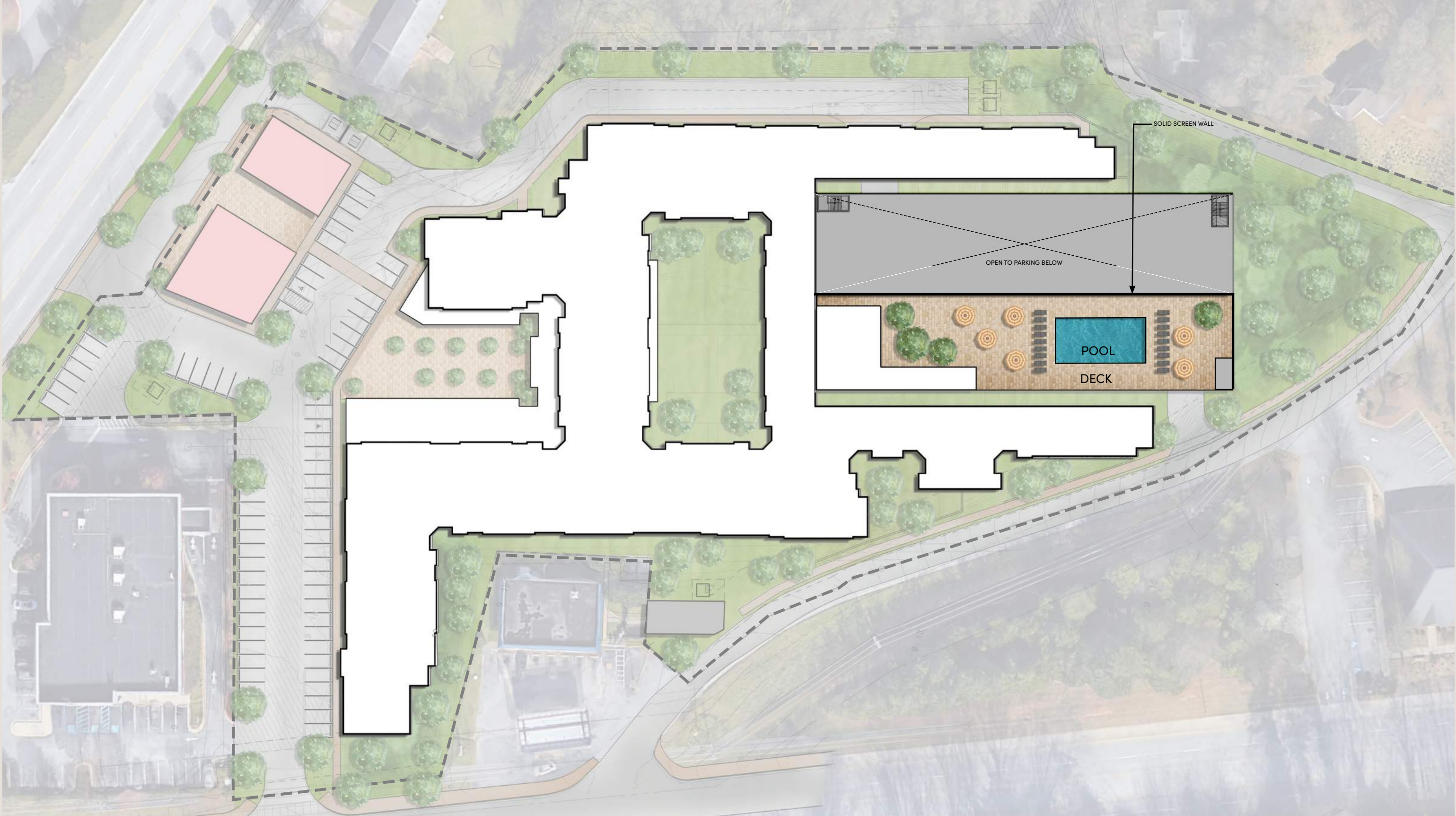
# Concept Plan: Level 3-5



# Concept Plan: Level 6



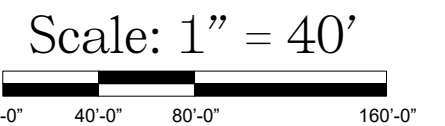
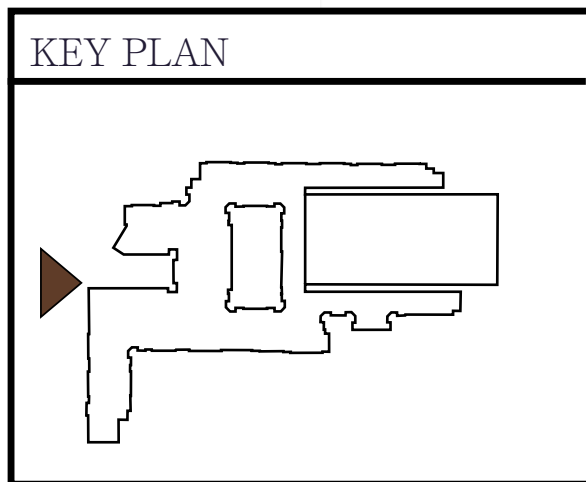
# Concept Plan: Level 7





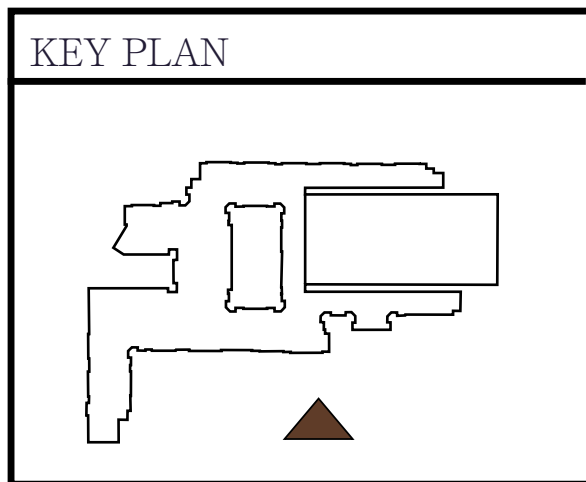
# North Elevation

MATERIAL LEGEND	
BRK-01	BRICK - TAN
BRK-02	BRICK - RED
BB-01	CEM. BOARD & BATTEN 1
BB-02	CEM. BOARD & BATTEN 2
BB-03	CEM. BOARD & BATTEN 3
CLS-01	CEM. LAP SIDING 1
CLS-02	CEM. LAP SIDING 2
CLS-03	CEM. LAP SIDING 3
CLS-04	CEM. LAP SIDING 4
VNL-01	VINYL WINDOWS 1
STO-01	STOREFRONT
AWN-01	ARCH. CANOPY
PW-01	PAINTED PRECAST WALL

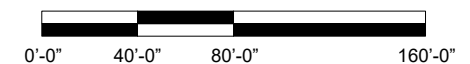


# West Elevation

MATERIAL LEGEND	
BRK-01	BRICK - TAN
BRK-02	BRICK - RED
BB-01	CEM. BOARD & BATTEN 1
BB-02	CEM. BOARD & BATTEN 2
BB-03	CEM. BOARD & BATTEN 3
CLS-01	CEM. LAP SIDING 1
CLS-02	CEM. LAP SIDING 2
CLS-03	CEM. LAP SIDING 3
CLS-04	CEM. LAP SIDING 4
VNL-01	VINYL WINDOWS 1
STO-01	STOREFRONT
AWN-01	ARCH. CANOPY
PW-01	PAINTED PRECAST WALL

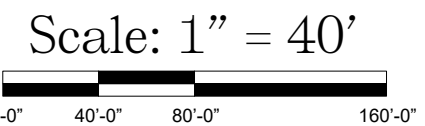
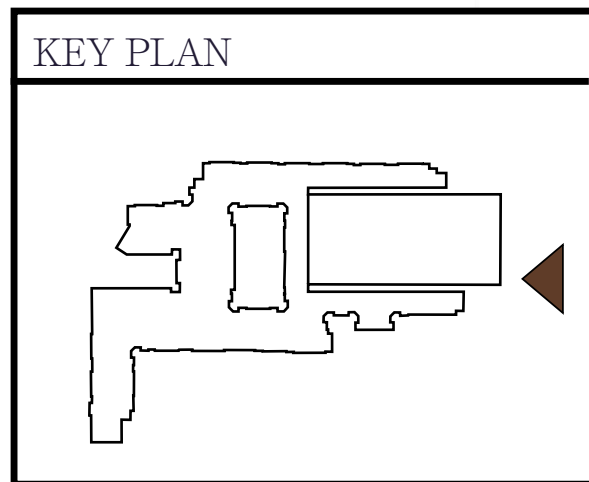
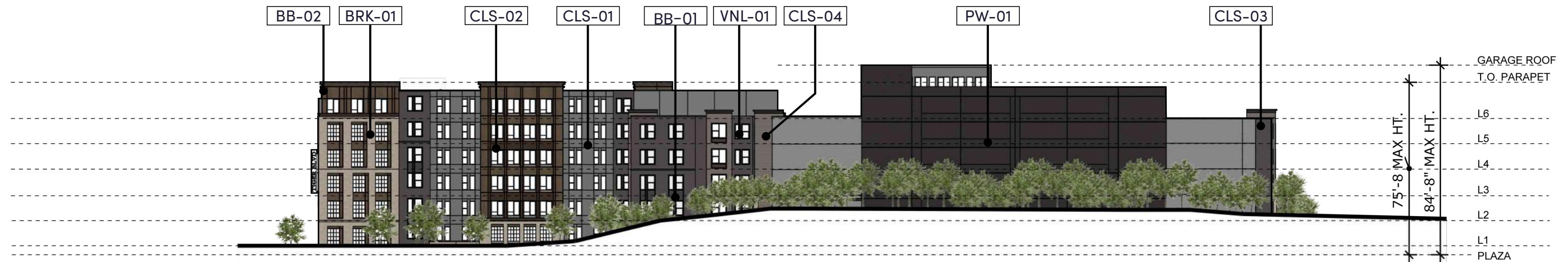


Scale: 1" = 40'



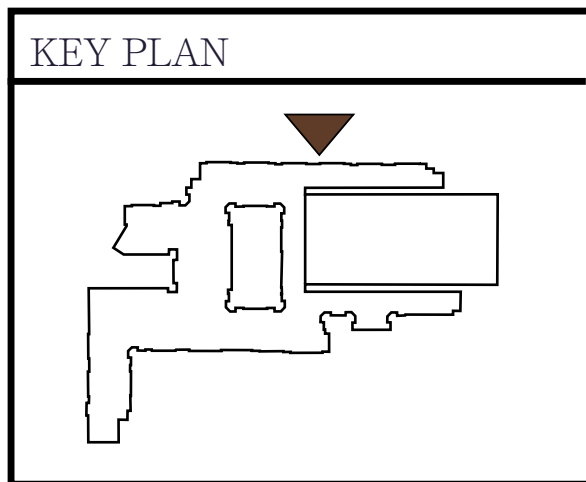
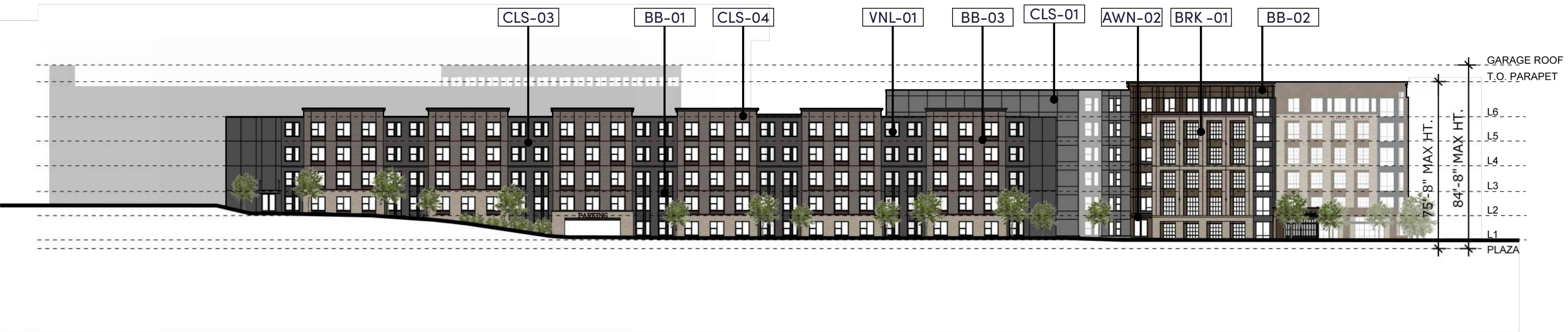
# South Elevation

MATERIAL LEGEND	
BRK-01	BRICK - TAN
BRK-02	BRICK - RED
BB-01	CEM. BOARD & BATTEN 1
BB-02	CEM. BOARD & BATTEN 2
BB-03	CEM. BOARD & BATTEN 3
CLS-01	CEM. LAP SIDING 1
CLS-02	CEM. LAP SIDING 2
CLS-03	CEM. LAP SIDING 3
CLS-04	CEM. LAP SIDING 4
VNL-01	VINYL WINDOWS 1
STO-01	STOREFRONT
AWN-01	ARCH. CANOPY
PW-01	PAINTED PRECAST WALL

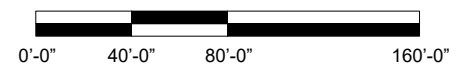


# East Elevation

MATERIAL LEGEND	
BRK-01	BRICK - TAN
BRK-02	BRICK - RED
BB-01	CEM. BOARD & BATTEN 1
BB-02	CEM. BOARD & BATTEN 2
BB-03	CEM. BOARD & BATTEN 3
CLS-01	CEM. LAP SIDING 1
CLS-02	CEM. LAP SIDING 2
CLS-03	CEM. LAP SIDING 3
CLS-04	CEM. LAP SIDING 4
VNL-01	VINYL WINDOWS 1
STO-01	STOREFRONT
AWN-01	ARCH. CANOPY
PW-01	PAINTED PRECAST WALL

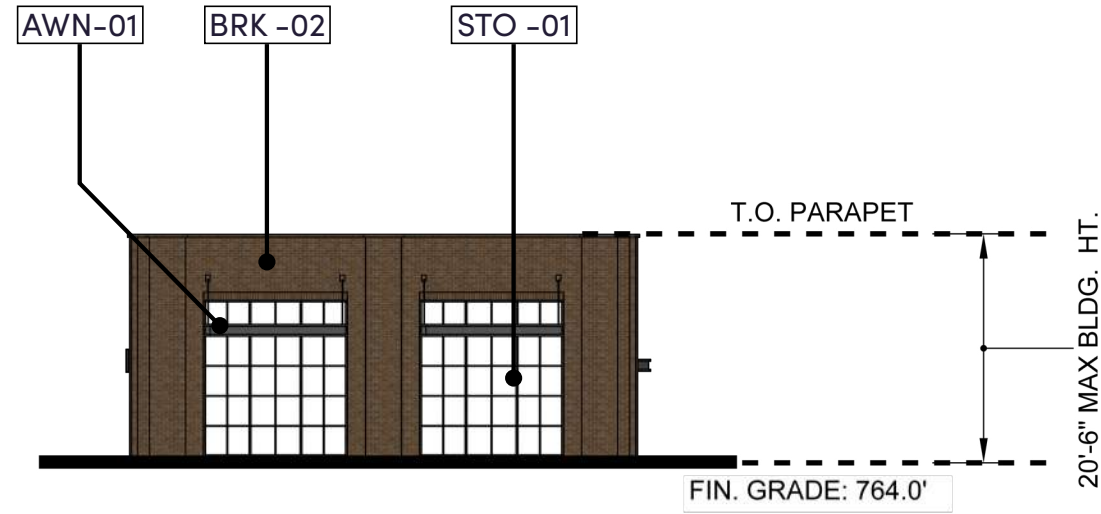


Scale: 1" = 40'

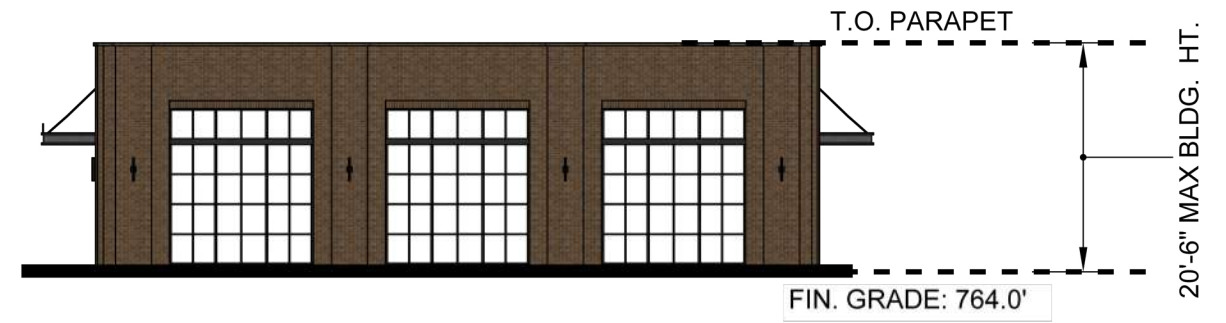


# Retail Elevation

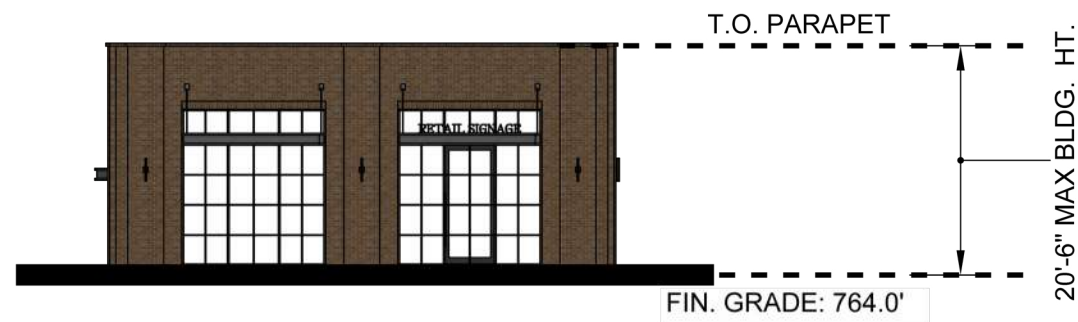
MATERIAL LEGEND	
BRK-01	BRICK - TAN
BRK-02	BRICK - RED
BB-01	CEM. BOARD & BATTEN 1
BB-02	CEM. BOARD & BATTEN 2
BB-03	CEM. BOARD & BATTEN 3
CLS-01	CEM. LAP SIDING 1
CLS-02	CEM. LAP SIDING 2
CLS-03	CEM. LAP SIDING 3
CLS-04	CEM. LAP SIDING 4
VNL-01	VINYL WINDOWS 1
STO-01	STOREFRONT
AWN-01	ARCH. CANOPY
PW-01	PAINTED PRECAST WALL



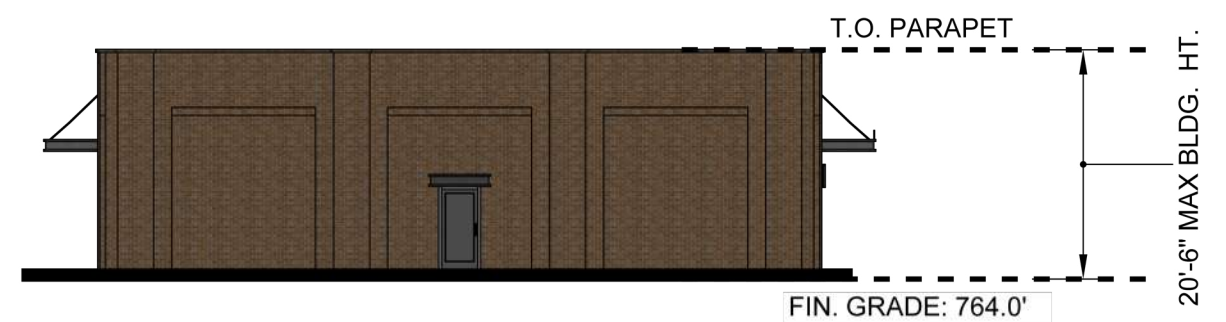
**1** Retail South Elevation  
Scale: 1" = 10'



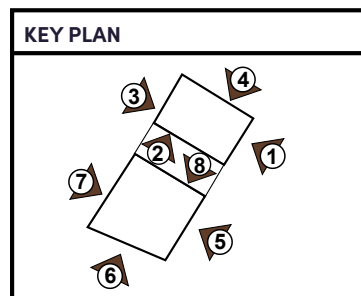
**2** Retail West Elevation  
Scale: 1" = 10'



**3** Retail North Elevation  
Scale: 1" = 10'

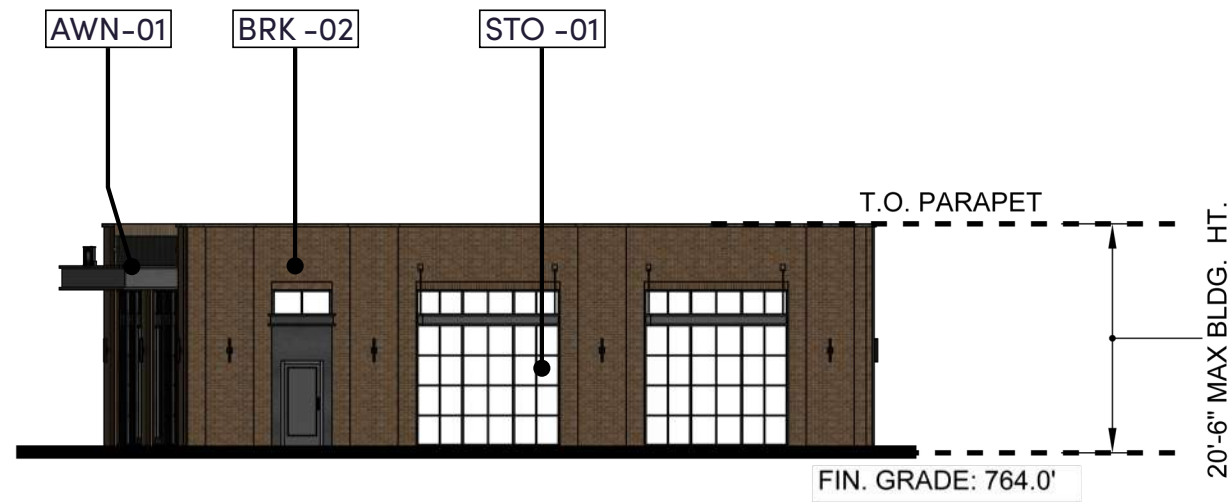


**4** Retail East Elevation  
Scale: 1" = 10'



# Retail Elevation

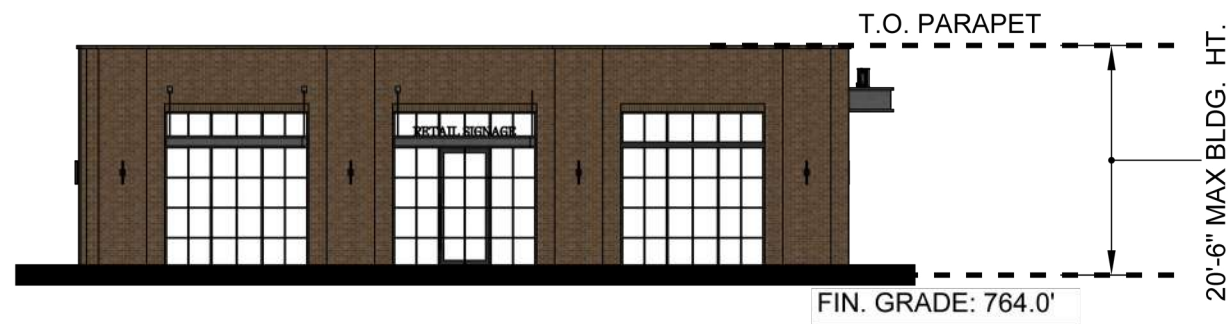
MATERIAL LEGEND	
BRK-01	BRICK - TAN
BRK-02	BRICK - RED
BB-01	CEM. BOARD & BATTEN 1
BB-02	CEM. BOARD & BATTEN 2
BB-03	CEM. BOARD & BATTEN 3
CLS-01	CEM. LAP SIDING 1
CLS-02	CEM. LAP SIDING 2
CLS-03	CEM. LAP SIDING 3
CLS-04	CEM. LAP SIDING 4
VNL-01	VINYL WINDOWS 1
STO-01	STOREFRONT
AWN-01	ARCH. CANOPY
PW-01	PAINTED PRECAST WALL



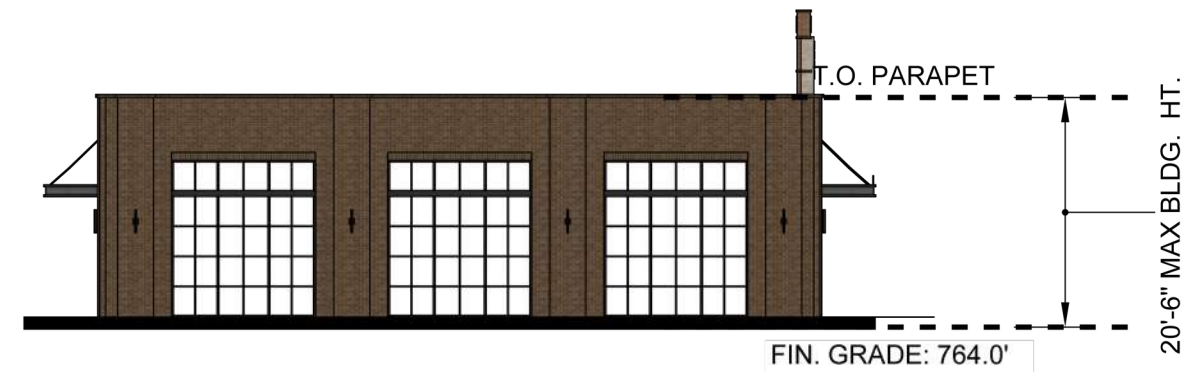
**5** Retail South Elevation  
Scale: 1" = 10'



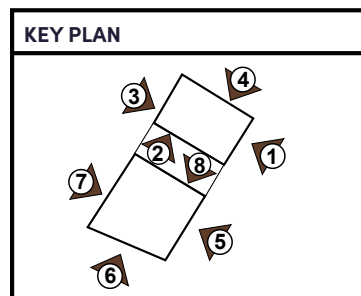
**6** Retail West Elevation  
Scale: 1" = 10'



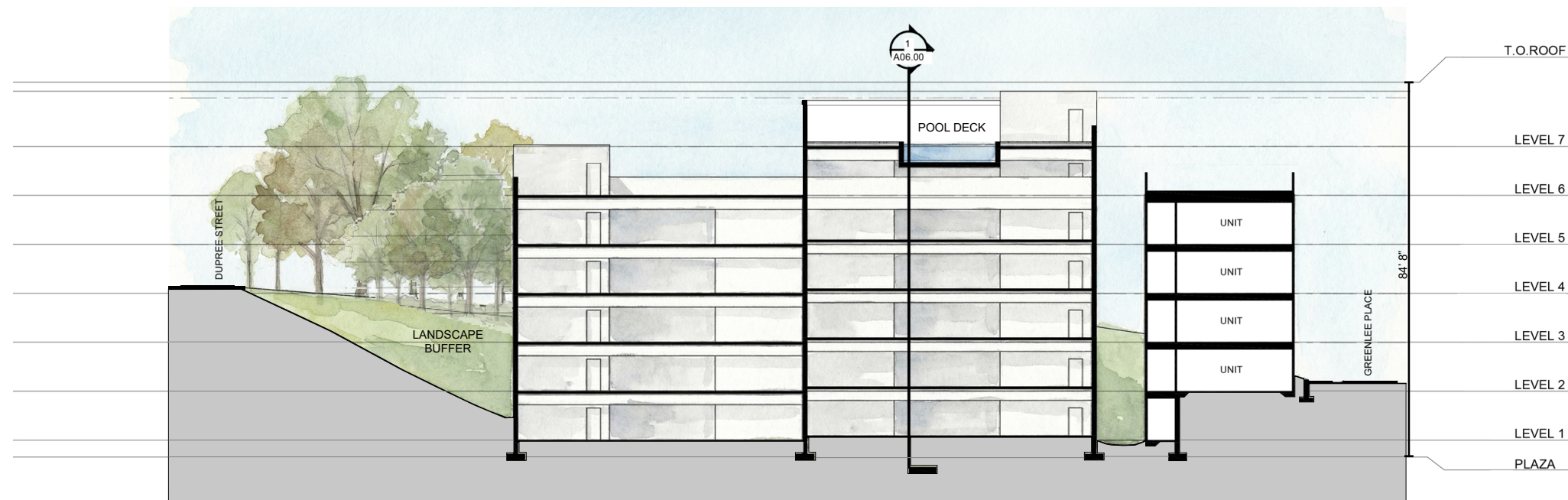
**7** Retail North Elevation  
Scale: 1" = 10'



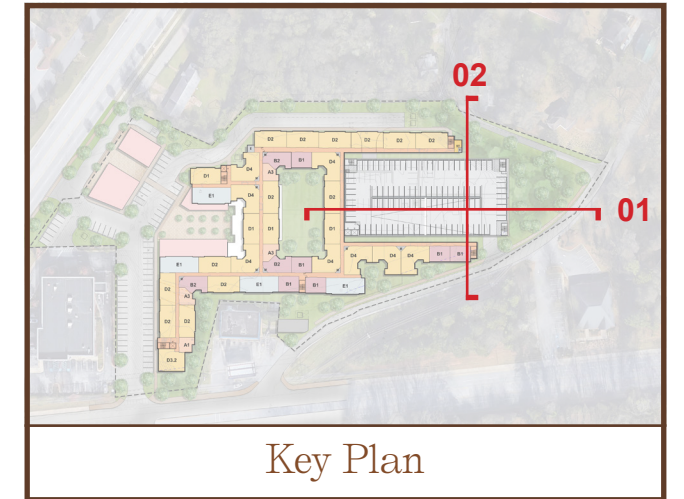
**8** Retail East Elevation  
Scale: 1" = 10'



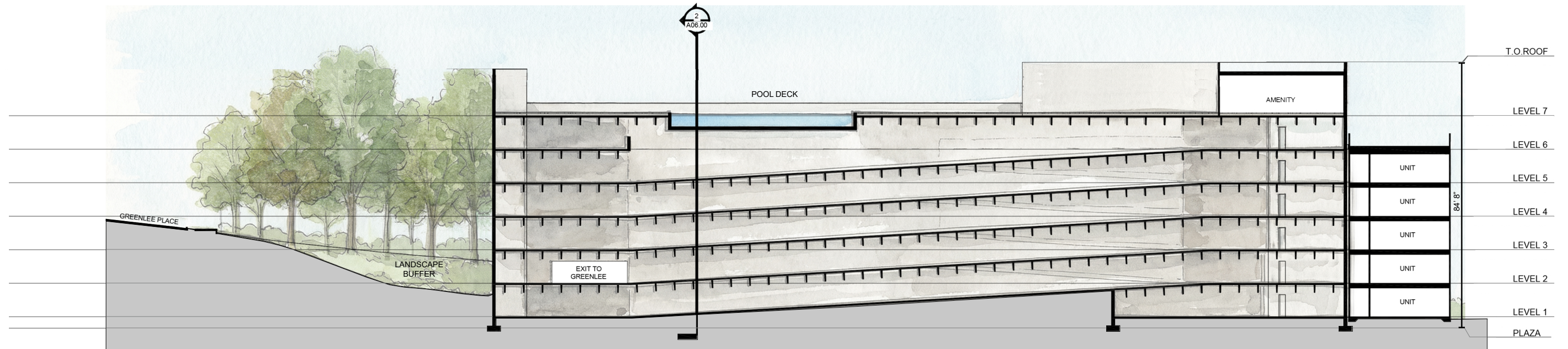
# Building Sections



2 TRANSVERSE PARKING DECK SECTION  
1/32" = 1'-0"



Key Plan



1 LONGITUDINAL PARKING DECK SECTION  
1/32" = 1'-0"



# Material Board



BRK-01  
BRICK VENEER 1  
TAN



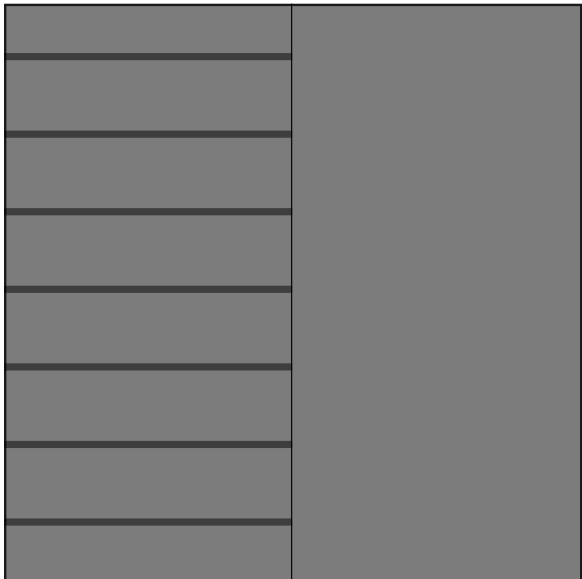
BRK-02  
BRICK VENEER 2  
RED



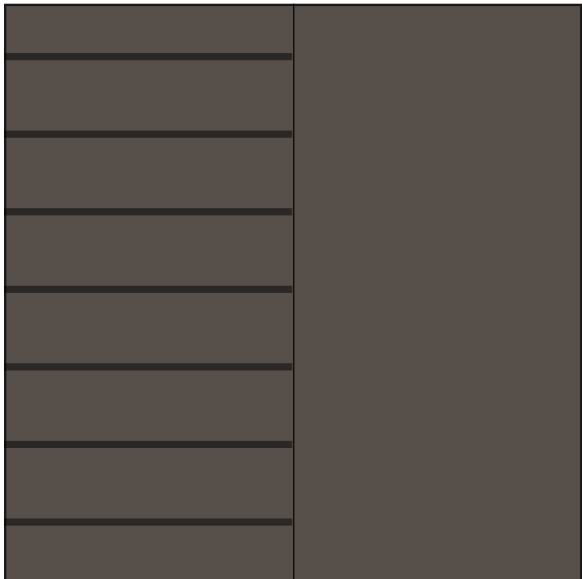
STO-01 & AWN-01  
STOREFRONT AND CANOPY  
DARK BRONZE FINISH



VW-01  
VINYL WINDOWS



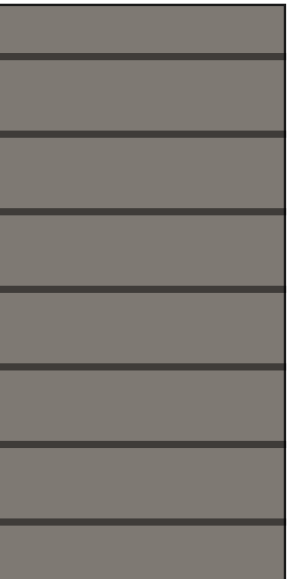
CLS-01 / BB-01  
CEM. LAP SIDING /  
BOARD & BATTEN ACCENT  
COLOR 1



CLS-02 / BB-02  
CEM. LAP SIDING /  
BOARD & BATTEN ACCENT  
COLOR 2



CLS-03 / BB-03  
CEM. LAP SIDING /  
BOARD & BATTEN ACCENT  
COLOR 3

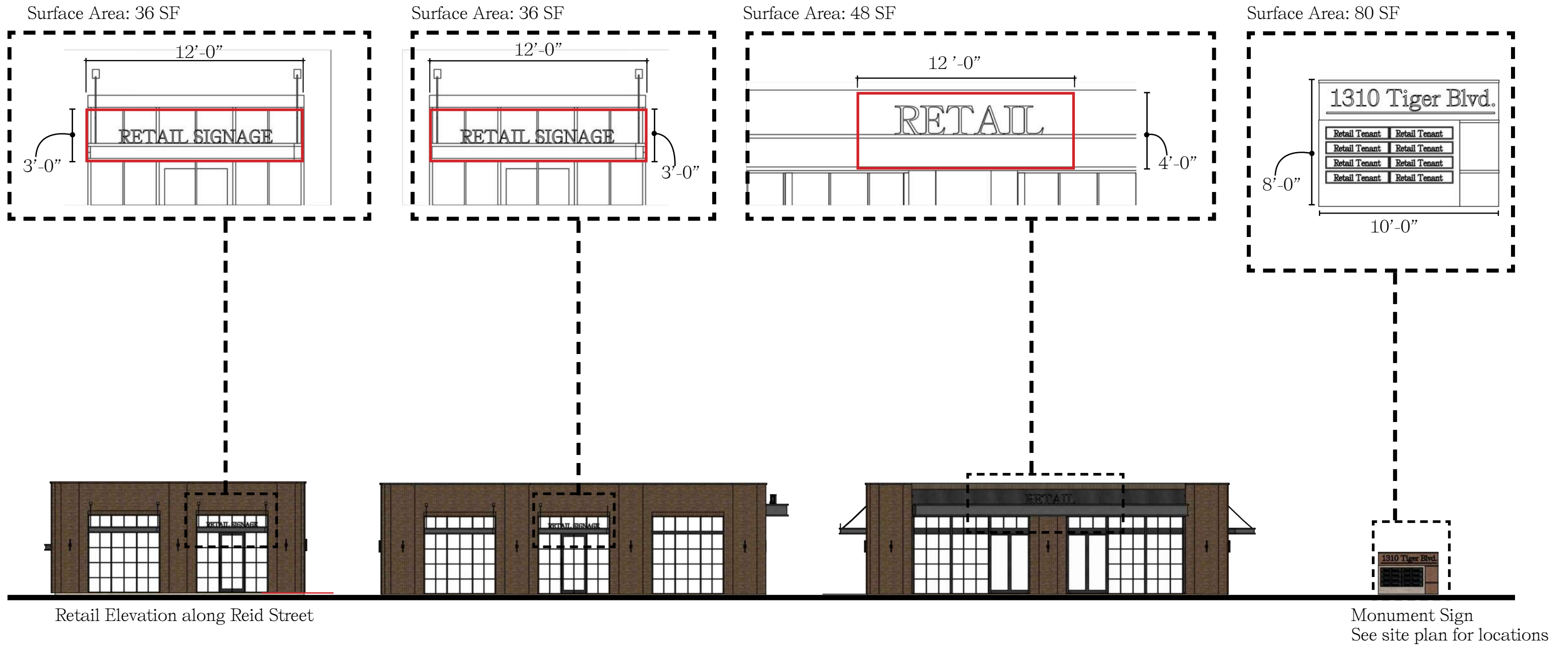


CLS-04  
CEM. LAP SIDING  
COLOR 4

# Signage Diagram



# Signage Diagram - Retail



# *Thank you!*

Project Contacts:

---

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Nick Imerman  
Sr Development Manager  
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Email: [nimerman@kennedywilson.com](mailto:nimerman@kennedywilson.com)

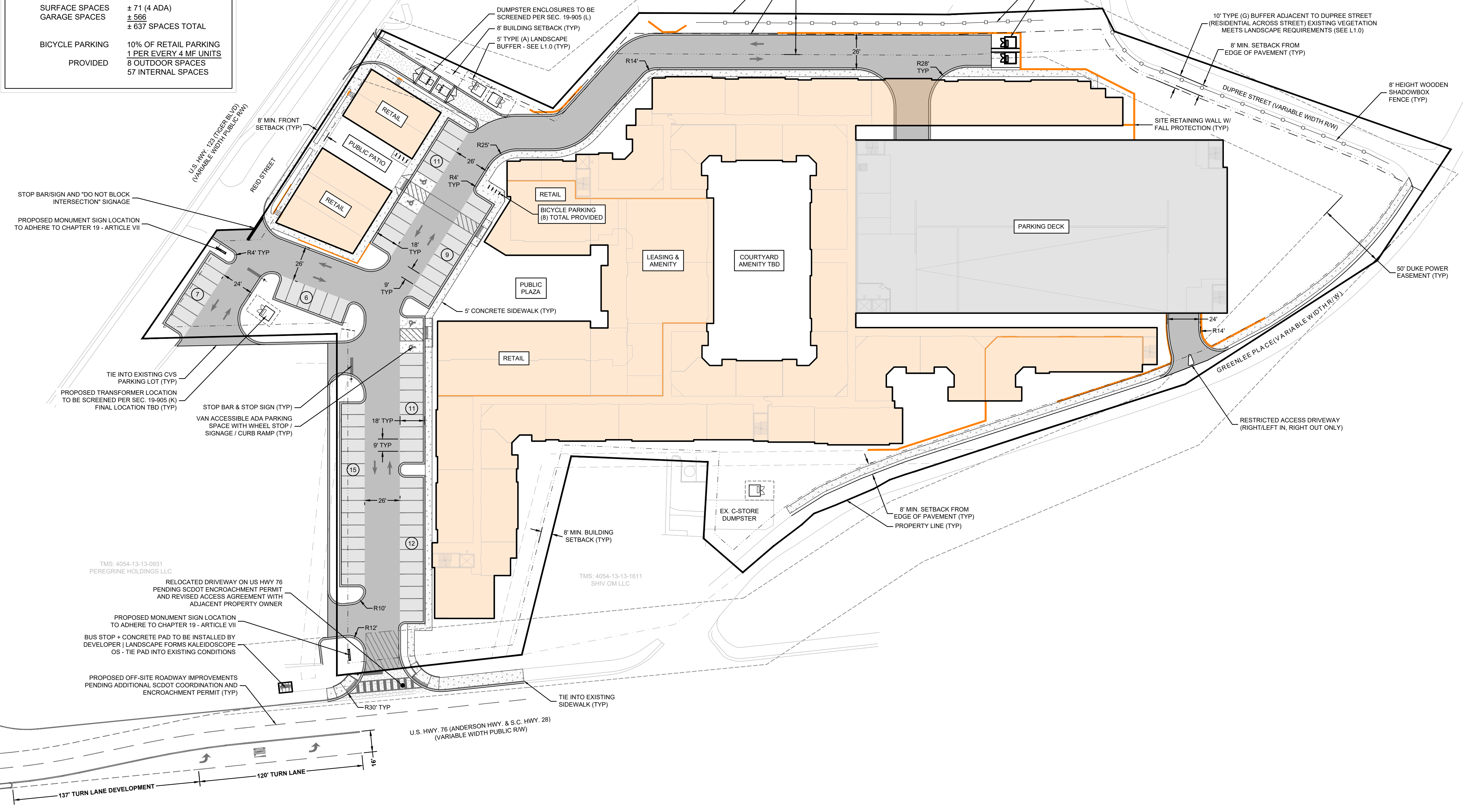
Mariel Arias  
Sr Development Analyst  
Phone: 646-717-5534  
Email: [marias@kennedywilson.com](mailto:marias@kennedywilson.com)

**DEVELOPMENT SITE DATA TABLE:**

- TAX MAP NUMBER: 4054-13-13-3566
- PARCEL / SITE AREA: ± 5.92 ACRES
- CURRENT ZONING: CP2 | AR-3 OVERLAY PD
- PROPOSED ZONING: PD
- PROPOSED USE: MIXED USE (RETAIL & MF)
- BUILDING SETBACKS:**
  - REID STREET: 8' MINIMUM
  - ANDERSON HWY (76): 8' MINIMUM
  - GREENLEE PLACE: 8' MINIMUM
  - DUPREE STREET: 8' MINIMUM
  - ABUTTING RESIDENTIAL: 30' MINIMUM
  - ABUTTING COMMERCIAL: 8' MINIMUM
- SITE BUFFERS:**
  - RESIDENTIAL: MODIFIED 15' TYPE (C)
  - OC ZONING: 5' TYPE (A)
  - GREENLEE PL: 10' TYPE (G)
- MIXED-USE BUILDING:**
  - 6 STORIES / 75' - 8" MAXIMUM HEIGHT
- PARKING DECK HEIGHT:**
  - 7 TIERS / 84' - 8" MAXIMUM HEIGHT
- NOTE: HEIGHT IS TO THE TOP OF THE HIGHEST PARAPET & DOES NOT INCLUDE STAIR OR ELEVATOR OVERRUNS.
- OPEN SPACE CALCULATIONS:**
  - PUBLIC OPEN SPACE: ± 15,375 (6%)
  - PRIVATE OPEN SPACE: ± 88,050 (34%)
  - TOTAL: ± 103,425 (40%)
- IMPERVIOUS AREA CALCULATIONS:**
  - PROPOSED IMPERVIOUS AREA: ± 4.3 AC (73%)

**PARKING SUMMARY TABLE:**

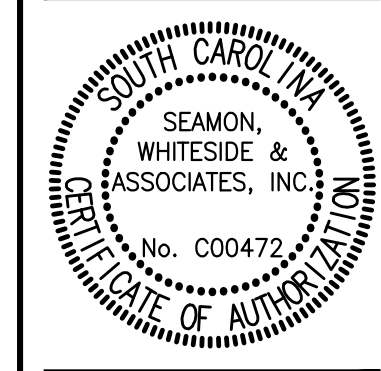
- BUILDING USES:** MIXED USE (RETAIL & MULTIFAMILY)
- BUILDING SIZE:**
  - RETAIL: ± 15,650 SF
  - MULTIFAMILY: ± 225 DWELLING UNITS
  - ± 752 TOTAL BEDS
- PARKING INFORMATION:**
  - SURFACE SPACES: ± 71 (4 ADA)
  - GARAGE SPACES: ± 566
  - ± 637 SPACES TOTAL
  - BICYCLE PARKING: 10% OF RETAIL PARKING
  - 1 PER EVERY 4 MF UNITS
  - PROVIDED: 8 OUTDOOR SPACES, 57 INTERNAL SPACES



501 WANDO PARK BOULEVARD, SUITE 200, MOUNT PLEASANT, SC 29664 | JUDSON HILL BUILDING GROUP, GREENVILLE, SC 29615 | TONY DEBARO STREET, SUMMERVILLE, SC 29586 | DAN DANIEL MORGAN AVENUE, SUITE 300, SPARTANBURG, SC 29306 | CHARLOTTE, NC 28211 | FAY PETERSON DR., CHARLOTTE, NC 28211 | 1310 TIGER BLVD, GREENVILLE, SC 29615 | THIS DRAWING SHALL NOT BE REPRODUCED IN ANY MANNER OR USED FOR ANY PURPOSE WITHOUT WRITTEN PERMISSION. COPYRIGHT © SEAMON, WHITESIDE & ASSOCIATES, INC.

**SW**  
SEAMON WHITESIDE

MOUNT PLEASANT, SC 29664.1667  
GREENVILLE, SC 29615.0534  
SUMMERVILLE, SC 29586.0710  
SPARTANBURG, SC 29303.1272  
CHARLOTTE, NC 28212.5450  
RALEIGH, NC 27601.5450  
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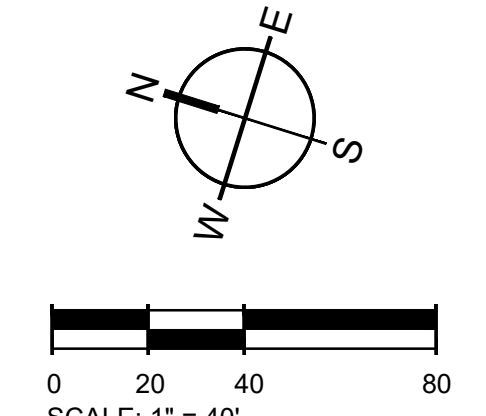
**NOT FOR CONSTRUCTION**

1310 TIGER BLVD  
KENNEDY WILSON  
CITY OF CLEMSON, SOUTH CAROLINA

SW+ PROJECT: 12582  
DATE: 6/6/25  
DRAWN BY: AC | ZB  
CHECKED BY: DM | AL

REVISION HISTORY	
A	04/17/26

ZONING SITE PLAN



C4.0

**DEVELOPMENT SITE DATA TABLE:**

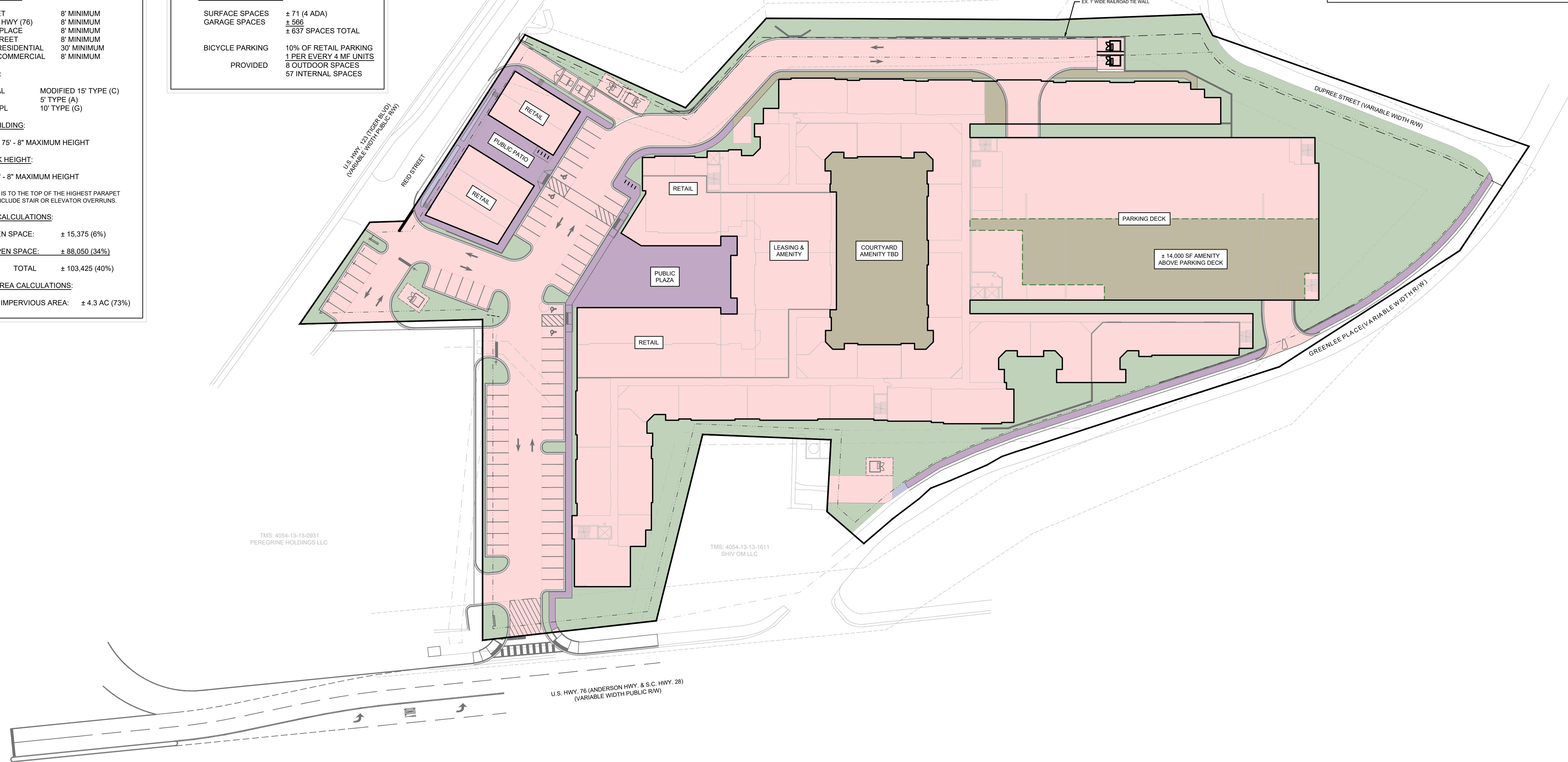
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  - ABUTTING RESIDENTIAL: 30' MINIMUM
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- SITE BUFFERS:**
  - RESIDENTIAL: MODIFIED 15' TYPE (C)
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  - GREENLEE PL: 10' TYPE (G)
- MIXED-USE BUILDING:**
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- BUILDING SIZE:**
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  - MULTIFAMILY: ± 225 DWELLING UNITS
  - ± 752 TOTAL BEDS
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  - SURFACE SPACES: ± 71 (4 ADA)
  - GARAGE SPACES: ± 566
  - ± 637 SPACES TOTAL
  - BICYCLE PARKING: 10% OF RETAIL PARKING
  - PROVIDED: 1 PER EVERY 4 MF UNITS
  - 8 OUTDOOR SPACES
  - 57 INTERNAL SPACES

**PLAN LEGEND**

- PRIVATE OPEN SPACE
- PUBLIC OPEN SPACE
- IMPERVIOUS AREA



**SITE PLAN NOTES:**

- CONTRACTOR TO ENSURE THAT ADA ACCESSIBLE ROUTE MEET THE ADA STANDARDS FOR ACCESSIBLE DESIGN (LATEST EDITION) AND LOCAL ACCESSIBILITY REGULATIONS.
- ALL ROADWAY AND DRIVEWAY DIMENSIONS ARE SHOWN TO FACE OF CURB WHERE APPLICABLE. WHERE CURB AND GUTTER IS NOT SHOWN, DIMENSIONS ARE SHOWN TO EDGE OF PAVEMENT.
- PAVEMENT SECTION DESIGNS SHALL BE CONFIRMED BY GEOTECHNICAL ENGINEER PRIOR TO CONSTRUCTION. CONCRETE JOINT LAYOUTS SHALL BE SUBMITTED TO GEOTECHNICAL ENGINEER FOR REVIEW AND APPROVAL.
- ALL STRIPING WITHIN PUBLIC RIGHT OF WAY BE IN ACCORDANCE WITH AUTHORITY HAVING JURISDICTION REQUIREMENTS.

**RETAINING WALL NOTES:**

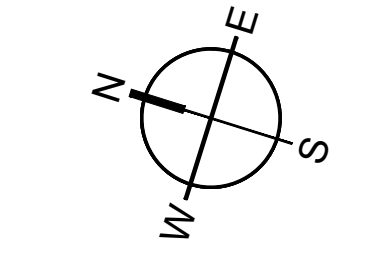
- THE RETAINING WALLS SHALL BE PROVIDED AND INSTALLED BY THE CONTRACTOR AS A DESIGN / BUILD COMPONENT OF THE PROJECT. SUBMITTALS SHALL BE SIGNED AND SEALED BY A REGISTERED SC PROFESSIONAL ENGINEER AND SUBMITTED TO THE GEOTECHNICAL ENGINEER FOR REVIEW AND TO THE CIVIL ENGINEER FOR GRADING & LINE REVIEW ONLY. THE DESIGN SHALL ENCOMPASS COMPONENTS AND ASPECTS OF THE RETAINING WALL TO CONSTRUCT A COMPLETE INSTALLATION, INCLUDING BUT NOT LIMITED TO FOUNDATIONS, TIEBACKS, DRAINAGE PROTECTION (SURFACE AND GROUNDWATER), AND EROSION PROTECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH THE GEOTECHNICAL ENGINEER TO PROVIDE ACCEPTABLE BACKFILL MATERIAL FOR THE DESIGN AND INSTALLATION OF THE WALL.
- RETAINING WALL COLOR AND FINISH SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND APPROVAL.

**EXISTING UTILITY NOTE:**

THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING ANY WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT OCCUR DUE TO THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.



Know what's below. Call before you dig.



SCALE: 1" = 40'

501 WANDO PARK BOULEVARD, SUITE 200, MOUNT PLEASANT, SC 29661 | JUDSON HILL BUILDING GROUP, GREENVILLE, SC 29611 | JON OGDAR STREET, SUMMERVILLE, SC 29586 | 1401 N. DANIEL MORGAN AVENUE, SUITE 300, SPARTANBURG, SC 29306

**SW SEAMON WHITESIDE**

MOUNT PLEASANT, SC 29661  
 GREENVILLE, SC 29611  
 SUMMERVILLE, SC 29586  
 SPARTANBURG, SC 29306  
 CHARLOTTE, NC 28272  
 RALEIGH, NC 27601  
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**NOT FOR CONSTRUCTION**

1310 TIGER BLVD  
 KENNEDY WILSON  
 CITY OF CLEMSON, SOUTH CAROLINA

SW+ PROJECT: 12582  
 DATE: 6/6/25  
 DRAWN BY: AC | ZB  
 CHECKED BY: DM | AL

**REVISION HISTORY**

NO.	DATE	DESCRIPTION
A	04/17/26	

OPEN SPACE & IMPERVIOUS AREA PLAN

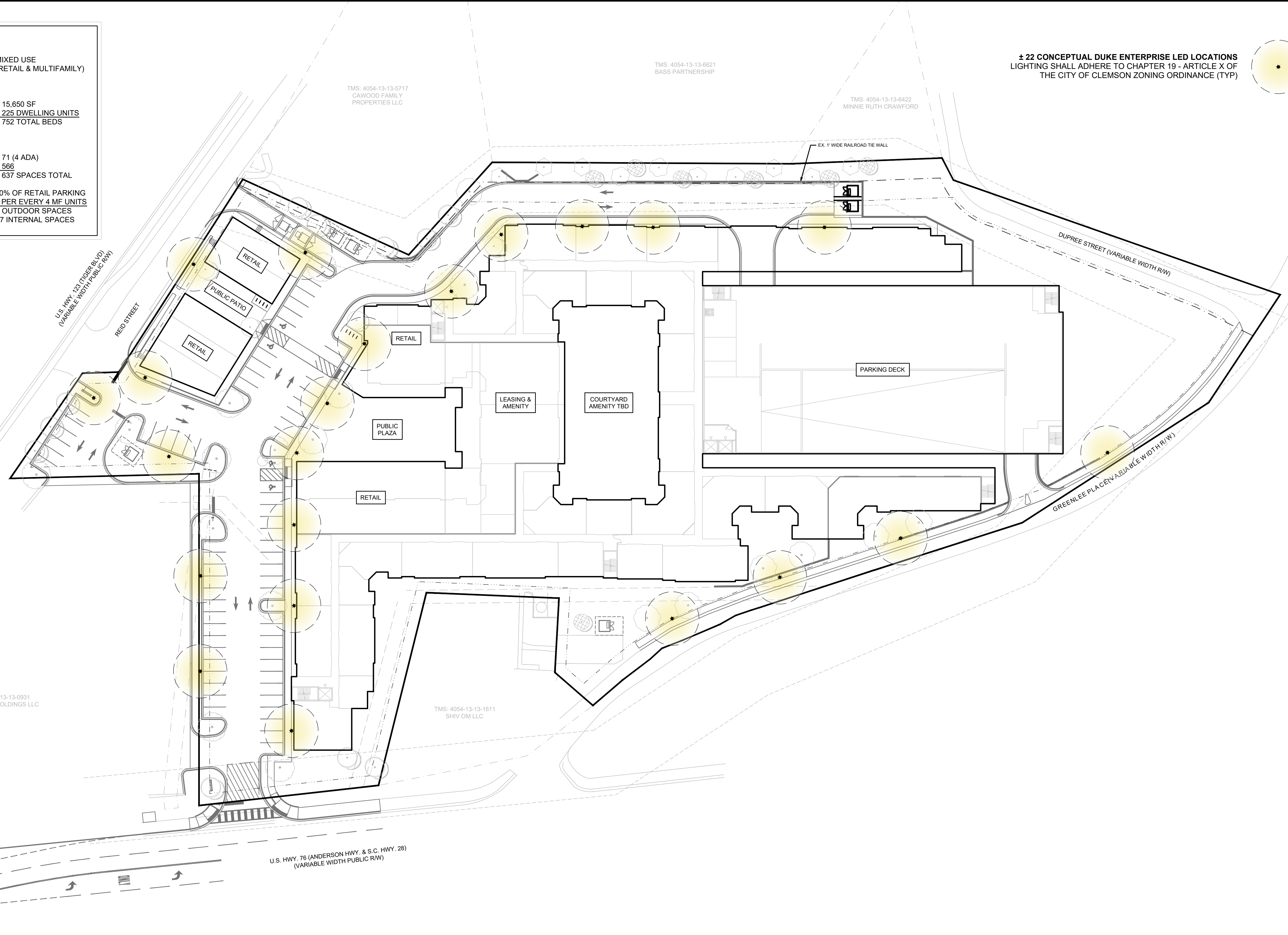
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  - TOTAL: ± 103,425 (40%)
- IMPERVIOUS AREA CALCULATIONS:**
  - PROPOSED IMPERVIOUS AREA: ± 4.3 AC (73%)

**PARKING SUMMARY TABLE:**

- BUILDING USES:** MIXED USE (RETAIL & MULTIFAMILY)
- BUILDING SIZE:**
  - RETAIL: ± 15,650 SF
  - MULTIFAMILY: ± 225 DWELLING UNITS
  - ± 752 TOTAL BEDS
- PARKING INFORMATION:**
  - SURFACE SPACES: ± 71 (4 ADA)
  - GARAGE SPACES: ± 566
  - ± 637 SPACES TOTAL
  - BICYCLE PARKING: 10% OF RETAIL PARKING
  - PROVIDED: 1 PER EVERY 4 MF UNITS
  - 8 OUTDOOR SPACES
  - 57 INTERNAL SPACES

± 22 CONCEPTUAL DUKE ENTERPRISE LED LOCATIONS  
LIGHTING SHALL ADHERE TO CHAPTER 19 - ARTICLE X OF  
THE CITY OF CLEMSON ZONING ORDINANCE (TYP)



**Outdoor Lighting**  
ENTERPRISE LED

**ENTERPRISE LED**

LED: 100 / 220 watts  
Start-up time: 10-15 min  
Mounting height: 20' - 30'  
Color: Black  
Finish: Black (Special Coatings), Silver (Special Coatings), Gray (Special Coatings)  
Pole: Style A

IESNA color classification: Full-cutoff  
Color temperature: 3,000K (Warm), 4,000K (Neutral)

FIXTURE	WATTS	LUMENS	PATTERN	BUG RATING
Enterprise	150	19,091	IV	85-UP-03
Enterprise	220	22,219	IV	85-UP-04
Enterprise	220	22,219	V	85-UP-03
Enterprise	220	22,219	V	85-UP-04

**LIGHT DISTRIBUTION PATTERNS**

POLE AVAILABLE: Style A  
MOUNTING HEIGHT: 20', 22', 30'  
FOUNDATION: Direct Bury, Anchor Base

DUKE ENERGY

- LIGHTING PLAN NOTES:**
- LIGHTING TO MEET REQUIREMENTS OF CITY OF CLEMSON ZONING ORDINANCE ART. X
  - PRELIMINARY LIGHTING PLAN IS CONCEPTUAL IN NATURE & SUBJECT TO CHANGE; INCLUDING FIXTURE TYPES & LOCATION.
  - PHOTOMETRIC ANALYSIS TO BE PROVIDED ALONG WITH FUTURE SUBMITTALS.
  - INTERNAL LIGHT SOURCES SHALL NOT BE DIRECTED OUTWARD TOWARD PROPERTY BOUNDARIES OR ADJACENT RIGHTS-OF-WAY AND NO OUTDOOR LIGHTING SHALL SHINE DIRECTLY INTO THE YARD OR INTO THE WINDOWS OF AN ADJACENT RESIDENCE.
  - TO AVOID FUTURE LIGHTING CONFLICTS, SAFETY ISSUES, UNHEALTHY & UNSIGHTLY TREE PRUNING, STREETLIGHTS WILL BE INSTALLED AWAY FROM TREES. MAXIMUM TREE CANOPY SIZE WILL BE CONSIDERED.

**SW**  
SEAMON WHITESIDE

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864.272.1272  
CHARLOTTE, NC  
980.312.5450  
RALEIGH, NC  
980.312.5450  
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**NOT FOR CONSTRUCTION**

1310 TIGER BLVD  
KENNEDY WILSON  
CITY OF CLEMSON, SOUTH CAROLINA

SW+ PROJECT: 12582  
DATE: 6/6/25  
DRAWN BY: AC | ZB  
CHECKED BY: DM | AL

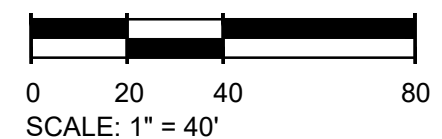
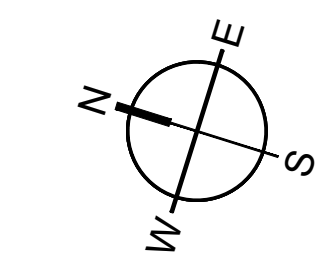
**REVISION HISTORY**

NO.	DATE	DESCRIPTION
A	04/17/26	

CONCEPTUAL LIGHTING PLAN

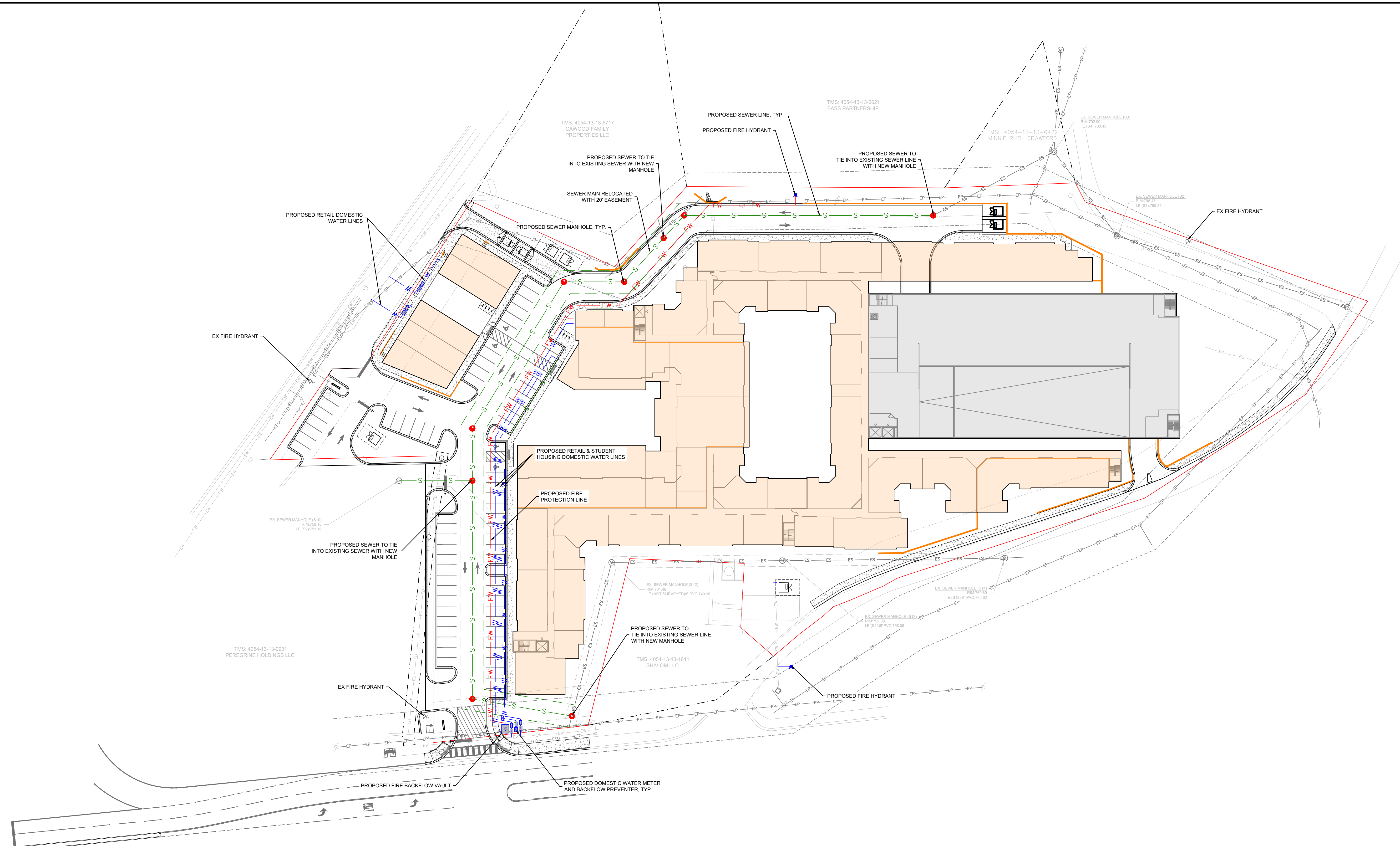


Know what's below.  
Call before you dig.



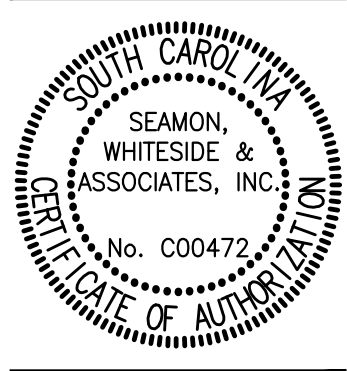


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KENNEDY WILSON  
CITY OF CLEMSON, SOUTH CAROLINA

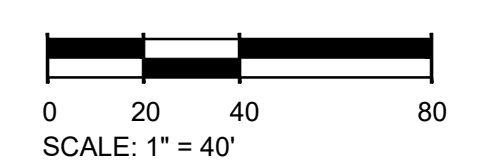
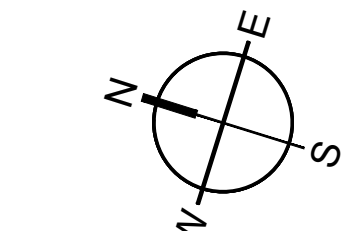
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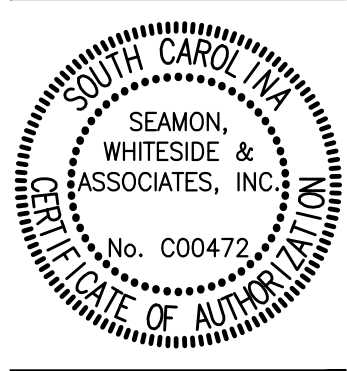
REVISION HISTORY	
A	04/17/26

UTILITY PLAN



Know what's below.  
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**1310 TIGER BLVD**  
 KENNEDY WILSON  
 CITY OF CLEMSON, SOUTH CAROLINA

SW+ PROJECT: 12582  
 DATE: 6/6/25  
 DRAWN BY: AC | ZB  
 CHECKED BY: DM | AL

REVISION HISTORY	
A	04/17/26

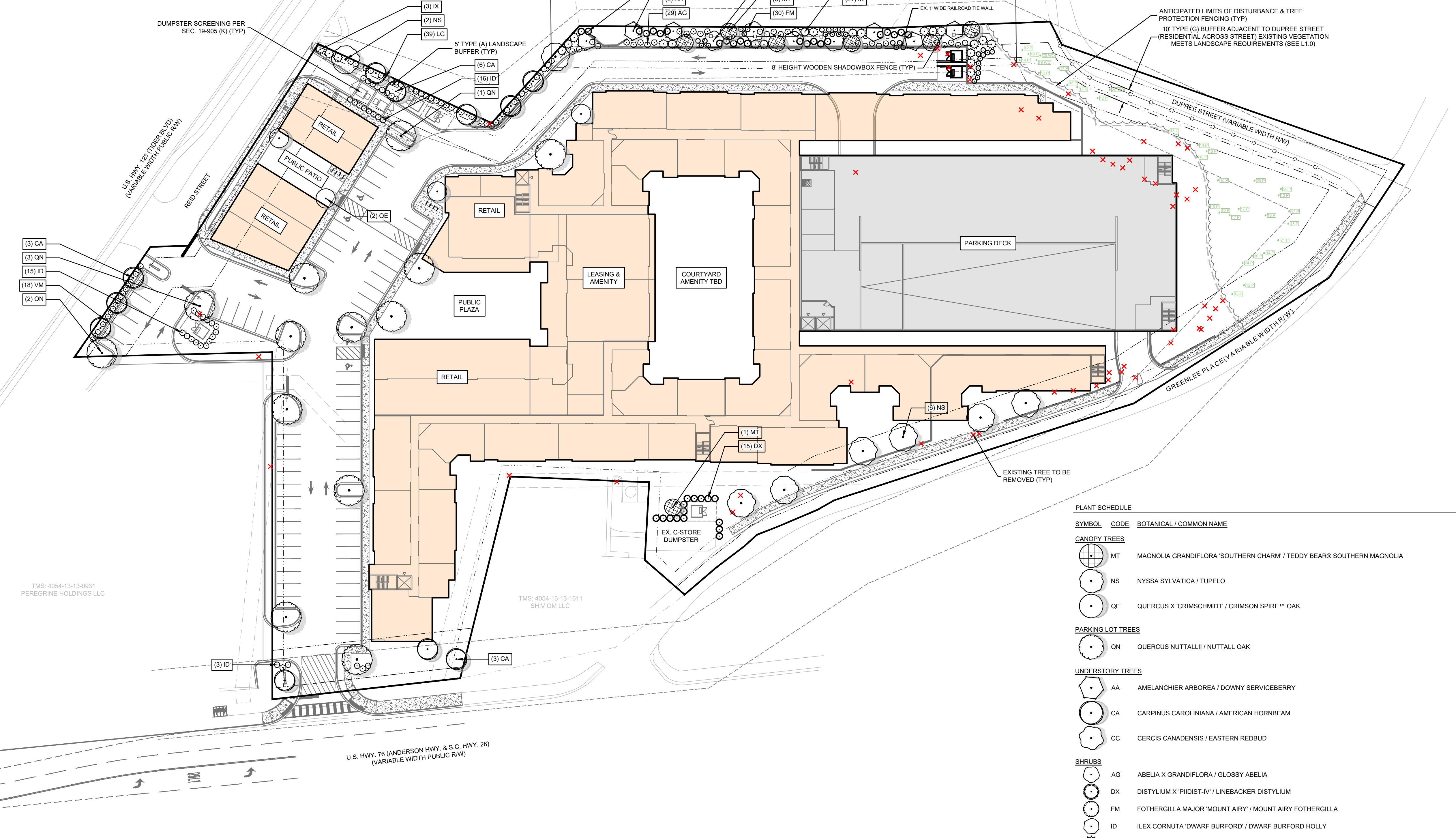
LANDSCAPE PLAN

Tree Calculations	
Total (From Survey)	1328
Caliper Inches Removed	-801
Caliper Inches Retained	527
Caliper Inches Planted	86
<b>Net Loss</b>	<b>613 Caliper Inches</b>

± 52 TREES TO BE REMOVED AS SHOWN = \$26,000 TO BE PAID INTO CITY OF CLEMSON TREE FUND PENDING FINAL LIMITS OF SITE DISTURBANCE

Existing Trees ≥ 8" Caliper Per Sec. 19-906				
Trees to be removed		Trees to remain		
Size	Species	Size	Species	Tree Credits
14"	CED	14"	P	4
18"	PEAR	12"	P	3
14"	LO	19"	P	4
14"	MAP	18"	WO	4
12"	CED	20"	WO	5
12"	CED	12"	P	3
13"	CED	17"	P	4
16"	MAP	15"	P	4
19"	MAP	17"	P	4
21"	LO	12"	P	3
19"	WO	20"	WO	5
17"	WO	15"	P	4
12"	P	14"	P	4
18"	P	18"	P	4
19"	P	16"	P	4
15"	P	15"	P	4
17"	P	20"	P	5
15"	P	13"	P	3
12"	WO	20"	P	5
21"	P	16"	P	4
12"	MAP	16"	P	4
19"	P	17"	P	4
12"	P	17"	P	4
17"	P	13"	P	3
12"	P	17"	P	4
13"	P	15"	P	4
19"	P	21"	P	5
12"	P	14"	P	4
12"	P	20"	P	5
14"	P	24"	P	5
12"	P	12"	P	3
13"	P	18"	P	4
12"	P			
13"	P			
13"	P			
13"	P			
14"	P			
12"	P			
13"	P			
13"	P			
14"	P			
12"	P			
13"	P			
15"	P			
12"	P			
12"	P			
12"	BOXE			
27"	P			
13"	WO			
22"	P			
23"	P			
16"	P			
24"	P			
<b>TOTAL</b>		<b>129</b>		

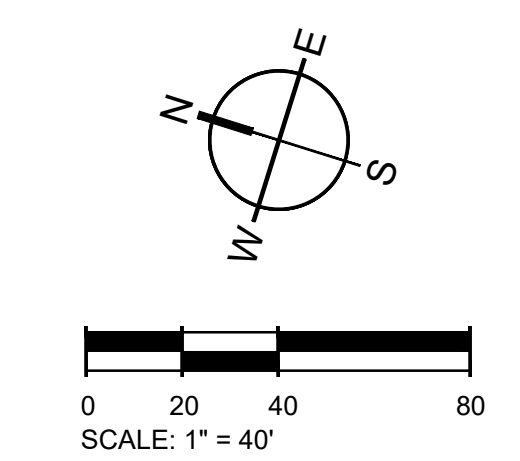
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**PLANT SCHEDULE**

SYMBOL	CODE	BOTANICAL / COMMON NAME
<b>CANOPY TREES</b>		
	MT	MAGNOLIA GRANDIFLORA 'SOUTHERN CHARM' / TEDDY BEAR® SOUTHERN MAGNOLIA
	NS	NYSSA SYLVATICA / TUPELO
	QE	QUERCUS X 'CRIMSHMIDT' / CRIMSON SPIRE™ OAK
<b>PARKING LOT TREES</b>		
	QN	QUERCUS NUTTALLII / NUTTALL OAK
<b>UNDERSTORY TREES</b>		
	AA	AMELANCHIER ARBOREA / DOWNY SERVICEBERRY
	CA	CARPINUS CAROLINIANA / AMERICAN HORNBEAM
	CC	CERCIS CANADENSIS / EASTERN REDBUD
<b>SHRUBS</b>		
	AG	ABELIA X GRANDIFLORA / GLOSSY ABELIA
	DX	DISTYLUM X 'PHIDIST-IV' / LINEBACKER DISTYLUM
	FM	FOTHERGILLA MAJOR 'MOUNT AIRY' / MOUNT AIRY FOTHERGILLA
	ID	ILEX CORNUTA 'DWARF BURFORD' / DWARF BURFORD HOLLY
	IX	ILEX X 'MAGLAND' / OAKLAND HOLLY
	LG	LOROPETALUM CHINENSE / CHINESE FRINGE FLOWER
	VM	VIBURNUM OBOVATUM 'MRS. SCHILLER'S DELIGHT' / MRS. SCHILLER'S DELIGHT WALTER'S VIBURNUM

- GENERAL LANDSCAPE NOTES:**
- APPLY MULCH RING TO TREES IN TURF AREAS. SOD/SEED ALL DISTURBED AREAS NOT COVERED BY MULCH, VEGETATION, OR HARDSCAPE. DO NOT LEAVE BARE SOIL EXPOSED.
  - NO IRRIGATION COMPONENTS, INCLUDING BUT NOT LIMITED TO, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTERS, AND/OR RAIN SENSORS ARE ALLOWED TO BE INSTALLED WITHIN DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY.
  - NO SUBSTITUTIONS / DELETIONS / ADDITIONS W/O LANDSCAPE ARCHITECT APPROVAL.
  - NO MORE THAN 30' OF BUFFER ZONE MAY CONSIST OF ANY ON SINGLE SPECIES OF TREE.
  - TREE PROTECTION FENCE (1' x 1" OF TRUNK DBH FORMULA) WILL BE PROVIDED FOR EXISTING TREES TO REMAIN. DETAIL TO BE PROVIDED.



- GENERAL PLANTING NOTES:**
- THE LANDSCAPE CONTRACTOR SHALL MEET WITH LANDSCAPE ARCHITECT PRIOR TO BEGINNING WORK SO THAT THERE IS A CLEAR UNDERSTANDING OF PROJECT REQUIREMENTS. FAILURE TO DO SO JEOPARDIZES FINAL ACCEPTANCE OF WORK.
  - THE LANDSCAPE CONTRACTOR IS HEREBY NOTIFIED OF THE EXISTENCE OF UNDERGROUND UTILITIES WITHIN THE LIMITS OF THE PROJECT AREA. THE LANDSCAPE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL UTILITY LINES PRIOR TO COMMENCEMENT OF DIGGING OPERATIONS. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR LOCATING, PROTECTING, AND REPAIRING ALL DAMAGE TO BUILDINGS, UTILITIES, PAVEMENT, AND CURB & GUTTER. ANY REPAIRS SHALL BE DONE PROMPTLY AT LANDSCAPE CONTRACTOR'S EXPENSE. NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY POSSIBLE CONFLICTS BETWEEN PROPOSED IMPROVEMENTS AND UTILITIES, SIGNS, AND/OR OTHER STRUCTURES.
  - IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO VERIFY THAT EACH EXCAVATED TREE OR SHRUB PIT WILL PERCOLATE (DRAIN) PRIOR TO ADDING TOPSOIL AND INSTALLING TREES OR SHRUBS. THE LANDSCAPE CONTRACTOR SHALL FILL THE BOTTOM OF HOLES WITH SIX (6) INCHES OF WATER. THIS WATER SHOULD PERCOLATE WITHIN A TWENTY-FOUR (24) HOUR PERIOD. IF WATER DOESN'T PERCOLATE, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLING PLANTS.
  - SHOULD THE LANDSCAPE CONTRACTOR ENCOUNTER UNSATISFACTORY SURFACE OR SUBSURFACE DRAINAGE CONDITIONS, SOIL DEPTH, LATENT SOILS, HARD PANS, STEAM OR OTHER UTILITY LINES OR OTHER CONDITIONS THAT WILL JEOPARDIZE THE HEALTH AND VIGOR OF THE PLANTS, THE LANDSCAPE CONTRACTOR MUST ADVISE THE LANDSCAPE ARCHITECT IN WRITING OF THE CONDITIONS PRIOR TO INSTALLING THE PLANTS. OTHERWISE, THE LANDSCAPE CONTRACTOR WARRANTS THAT THE PLANTING AREAS ARE SUITABLE FOR PROPER GROWTH AND DEVELOPMENT OF THE PLANTS TO BE INSTALLED.
  - THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR STAKING AND LAYOUT OF PLANTINGS ON THIS PROJECT. THE LANDSCAPE ARCHITECT OR OWNER SHALL BE ADVISED WHEN STAKES ARE READY FOR INSPECTION ON VARIOUS PLANTING AREAS. ALL LAYOUT WORK SHALL BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT AND OWNER PRIOR TO OPENING ANY PLANTING PITS.
  - PLANT MATERIAL QUANTITIES PROVIDED IN THE PLANT SCHEDULE ARE FOR REFERENCE ONLY AND THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE ACTUAL PLANT MATERIAL COUNTS. DISCREPANCIES BETWEEN QUANTITIES SHOWN ON THE PLANTING PLAN AND THOSE IN THE PLANT SCHEDULE SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT FOR CLARIFICATION. IF CLARIFICATION OF DISCREPANCIES FROM THE LANDSCAPE ARCHITECT IS NOT POSSIBLE, THEN QUANTITIES SHOWN ON THE PLANTING PLAN SHALL TAKE PRECEDENCE.**
  - REQUIREMENTS FOR THE MEASUREMENTS, BRANCHING, GRADING, QUALITY, BALLING AND BURLAPPING OF PLANTS IN THE PLANT LIST SHOULD FOLLOW OR EXCEED THE STANDARDS CURRENTLY RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. IN THE AMERICAN STANDARD FOR NURSERY STOCKS (ANSI Z-60.1), UNLESS OTHERWISE SPECIFIED, ANY SIZE SPECIFIED SHALL BE CONSIDERED MINIMUM. **MINIMUMS FOR HEIGHT, SPREAD, OR CALIPER SHALL TAKE PRECEDENCE OVER A SPECIFIED CONTAINER SIZE.**
  - ALL PLANTS SHALL HAVE A WELL FORMED HEAD WITH MINIMUM CALIPER, HEIGHT AND SPREAD OF THE SIDE BRANCHES AS SHOWN ON THE PLANT LIST. TRUNKS SHALL BE UNDAUNAGED AND SHAPE SHALL BE TYPICAL OF THE SPECIES.
  - MEASUREMENT OF CONIFER HEIGHT SHALL INCLUDE NOT MORE THAN FIFTY (50) PER CENT OF THIS YEAR'S VERTICAL GROWTH (TOP CANDLE).
  - NO EXCAVATION OR PLANTING PIT SHALL BE LEFT UNATTENDED OVERNIGHT.
  - REMOVE BURLAP STRAP FROM TOP WIRE BASKET FROM TOP 1/3 ROOT BALL ON TREES.
  - REMOVE PAPER, PLASTIC OR METAL AROUND ROOT BALLS OF SHRUBS.
  - DO NOT WRAP TREES.
  - WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING.
  - TREE GUYING MATERIAL SHALL BE "ARBOR-TIE" OR EQUIVALENT.
  - ALL PLANT BEDS WITH 4" OF DOUBLE SHREDDED HARDWOOD MULCH UNLESS OTHERWISE SPECIFIED.
  - ALL AREAS OF PLANTING, INCLUDING AREAS OF GRASS SEEDING AND SOD, SHALL BE GRADED TO PROVIDE POSITIVE DRAINAGE AND SHALL BE PROVIDED APPROPRIATE SOIL FOR THE PROPOSED PLANTINGS. SEE SOIL NOTES.
  - ALL EXISTING VEGETATION WITHIN AREAS TO BE PLANTED, SODDED AND/OR SEEDED SHALL BE REMOVED PRIOR TO PLANTING, SODDING, AND SEEDING. ALL AREAS INDICATED TO BE GRASS SEED SHALL BE SEEDED PER GRASSING SPECIFICATIONS FOR PERMANENT STABILIZATION.
  - ALL DISTURBED AREAS NOT SPECIFICALLY CALLED OUT ON THIS PLAN SHALL BE SEEDED PER THE PROVIDED SEEDING SCHEDULE. ALL DISTURBED NATURAL AREAS SHALL BE MULCHED (SEE MULCH SPECIFICATIONS).
  - DRAINAGE TO BE PROVIDED FOR ALL ABOVE GROUND PLANTERS.
  - PLANTINGS SHALL BE PRUNED TO CONFORM WITH THE REQUIREMENTS OF ALL AUTHORITIES HAVING JURISDICTION, INCLUDING BUT NOT LIMITED TO THE CITY, COUNTY, STATE AND FEDERAL REQUIREMENTS.
  - THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANING UP THE SITE AT THE COMPLETION OF THE PROJECT AND SHALL MAINTAIN THE SITE IN A REASONABLY NEAT AND CLEAN STATE THROUGHOUT THE INSTALLATION PROCESS. STREETS AND PAVED AREAS SHALL BE CLEANED REGULARLY TO REMOVE CONSTRUCTION MATERIALS AND OTHER DEBRIS RESULTING FROM THE INSTALLATION PROCESS.
  - REPLACEMENTS OF DEAD OR UNSATISFACTORY MATERIAL SHALL BE MADE AS SPECIFIED IN THE PLANT LIST. THE OWNER OR LANDSCAPE ARCHITECT SHALL INSPECT REPLACED PLANTS WHEN ALL REPLACEMENTS HAVE BEEN MADE. REPLACEMENTS ARE TO BE ALIVE AND IN A HEALTHY CONDITION WHEN THE REPLACEMENTS ARE COMPLETE. REPLACEMENTS ARE NOT SUBJECT TO AN ADDITIONAL GUARANTEE. BUT THE LANDSCAPE CONTRACTOR SHALL CONSULT WITH THE LANDSCAPE ARCHITECT ON REASON FOR PLANT DECLINE/DEATH AND HOW TO AVOID FUTURE INSTANCES.
  - SHOULD THE LANDSCAPE CONTRACTOR NOT MAKE REPLACEMENTS IN A SATISFACTORY AND TIMELY FASHION IN ACCORD WITH THE PLANTING NOTES, THE OWNER, AFTER PROPER NOTIFICATION TO THE LANDSCAPE CONTRACTOR MAY UTILIZE THE FUNDS OF THE RETAINAGE TO HAVE THE REPLACEMENTS MADE IN ACCORDANCE WITH THE SPECIFICATIONS BY ANOTHER CONTRACTOR.

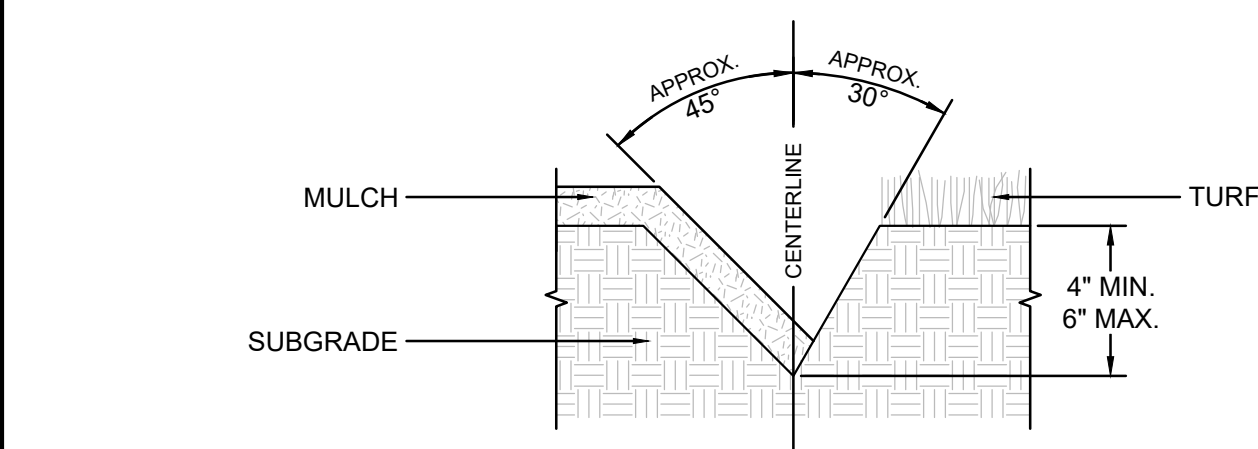
- SOIL NOTES:**
- FOR EACH UNAMENDED SOIL TYPE, FURNISH SOIL ANALYSIS AND A WRITTEN REPORT BY A QUALIFIED SOIL-TESTING LABORATORY STATING PERCENTAGES OF ORGANIC MATTER, GRADATION OF SAND, SILT, AND CLAY CONTENT; CATION EXCHANGE CAPACITY; SODIUM ADSORPTION RATIO; DELETERIOUS MATERIAL; BUFFER PH LEVELS; AND MINERAL AND PLANT-NUTRIENT CONTENT OF THE SOIL.
  - A MINIMUM OF THREE REPRESENTATIVE SAMPLES SHALL BE TAKEN FROM VARIOUS LOCATIONS FOR EACH SOIL TO BE USED OR AMENDED FOR PLANTING PURPOSES.
  - LANDSCAPE CONTRACTOR SHALL SUBMIT TO LANDSCAPE ARCHITECT THE LAB RECOMMENDATIONS FOR SOIL TREATMENTS AND SOIL AMENDMENTS TO BE INCORPORATED. INDICATE LAB RECOMMENDATIONS IN WEIGHT PER 1000 SQ. FT. OR VOLUME PER CU. YD. FOR NITROGEN, PHOSPHORUS, AND POTASH NUTRIENTS AND ORGANIC AND INORGANIC SOIL AMENDMENTS TO BE ADDED TO PRODUCE PLANTING SOIL SUITABLE FOR HEALTHY, VIABLE PLANTS.
  - ALL SOILS USED FOR PLANTING SHALL BE PREPARED AS NECESSARY USING ORGANIC AND INORGANIC SOIL AMENDMENTS AND FERTILIZERS IN THE QUANTITIES RECOMMENDED IN THE SOIL ANALYSIS REPORT TO PRODUCE SATISFACTORY PLANTING SOIL FOR HEALTHY, VIABLE PLANTS. PLANTING SOILS SHALL HAVE A PH LEVEL BETWEEN 6.0 AND 7.0.
  - IN ALL PLANTING AREAS, SPREAD PLANTING SOIL TO A DEPTH OF 8 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT.

- IRRIGATION NOTES:**
- LANDSCAPE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF PROPOSED IRRIGATION SYSTEM TO LANDSCAPE ARCHITECT AND OWNER FOR ACCEPTANCE. LANDSCAPE CONTRACTOR TO SUPPLY AUTOMATIC IRRIGATION SYSTEMS, COMPLETE AND INSTALLED. SYSTEM TO INCLUDE ALL VALVES, PIPES, HEADS, FITTINGS, RAIN SENSOR, AND CLOCK AND TO PROVIDE 100% HEAD TO HEAD COVERAGE OF ALL NEW SODDED AND IMPROVED EXISTING GRASS AREAS, TREES, SHRUBS AND PLANTING BEDS. COORDINATE IRRIGATION WITH OWNER'S REPRESENTATIVE.
  - LANDSCAPE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS FOR AUTOMATIC IRRIGATION SYSTEMS. LANDSCAPE CONTRACTOR SHALL PROVIDE ELECTRIC METER, BACKFLOW PREVENTER AND SERVICE IN ACCORDANCE WITH STATE AND LOCAL CODES FOR IRRIGATION SYSTEM. LOCATION OF METERS AND CONTROL PANELS FOR IRRIGATION SHALL BE APPROVED BY OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. COORDINATE WATER METER REQUIREMENTS WITH CIVIL ENGINEER.
  - LANDSCAPE CONTRACTOR TO PROVIDE DRIP IRRIGATION TO ALL ABOVE GROUND PLANTERS. IRRIGATION LINE TO BE INSTALLED BENEATH ADJACENT HARDSCAPE AS NECESSARY.
  - IRRIGATION PIPING, SPRINKLERS, AND OTHER EQUIPMENT MAY BE SHOWN OUTSIDE OF LANDSCAPE AREAS ON DRAWING FOR GRAPHIC CLARITY. ALL VALVE BOXES AND EQUIPMENT VALVETS SHALL BE LOCATED IN MULCH BEDS.
  - NO IRRIGATION COMPONENTS, INCLUDING BUT NOT LIMITED TO, VALVE BOXES, CONTROL BOXES, BACKFLOW PREVENTERS, AND/OR RAIN SENSORS ARE ALLOWED TO BE INSTALLED WITHIN DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY.

- PLANT SCHEDULE NOTES:**
- LANDSCAPE CONTRACTOR SHALL NOTIFY THIS OFFICE OF DISCREPANCIES PRIOR TO BEGINNING OR CONTINUING WORK.
  - THERE WILL BE NO SUBSTITUTIONS, DELETIONS OR ADDITIONS WITHOUT APPROVAL OF THIS OFFICE.
  - SIZE OF PLANT MATERIAL SHALL CONFORM WITH THE CURRENT EDITION OF AMERICAN STANDARD FOR NURSERY STOCK FOR NUMBER ONE GRADE NURSERY STOCK AS ADOPTED BY THE AMERICAN ASSOCIATION OF NURSERYMEN AND AMERICAN NATIONAL STANDARDS INSTITUTE.
  - THE QUANTITIES ON THE SCHEDULE ARE ONLY A GUIDE. ALL QUANTITIES SHALL BE VERIFIED BY THE LANDSCAPE CONTRACTOR ON THE PLANTING PLAN.

### 1 Landscape Notes

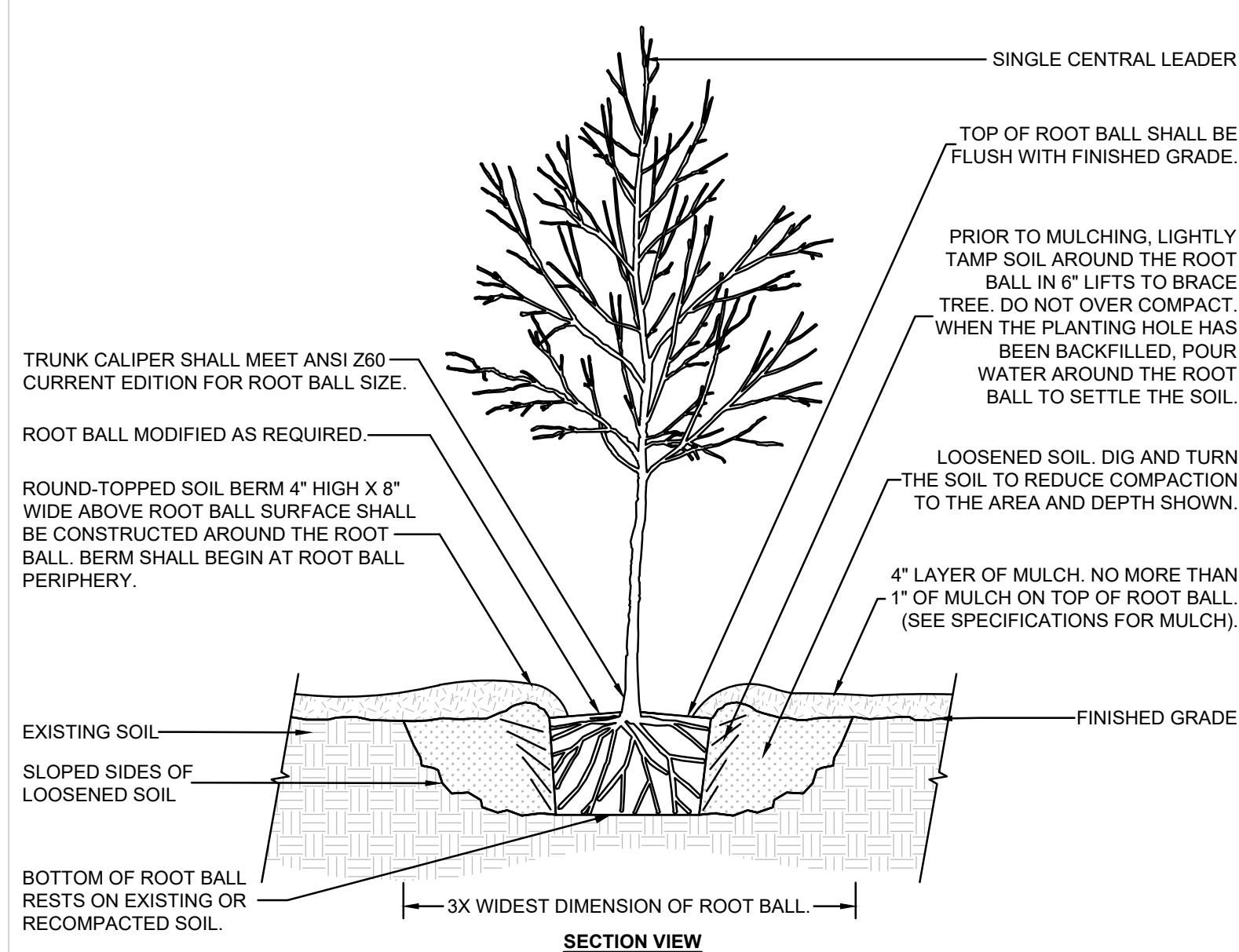
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- NOTES:**
- SEE LANDSCAPE NOTES AND SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.
  - EXCAVATE TRENCH BY HAND WITH SPADE.
  - ADD EXCESS SOIL TO ADJACENT PLANT BED AFTER PULLING BACK EXISTING MULCH. RAKE SOIL AND SMOOTH BEFORE MULCHING.

### 2 Lawn Edge Detail

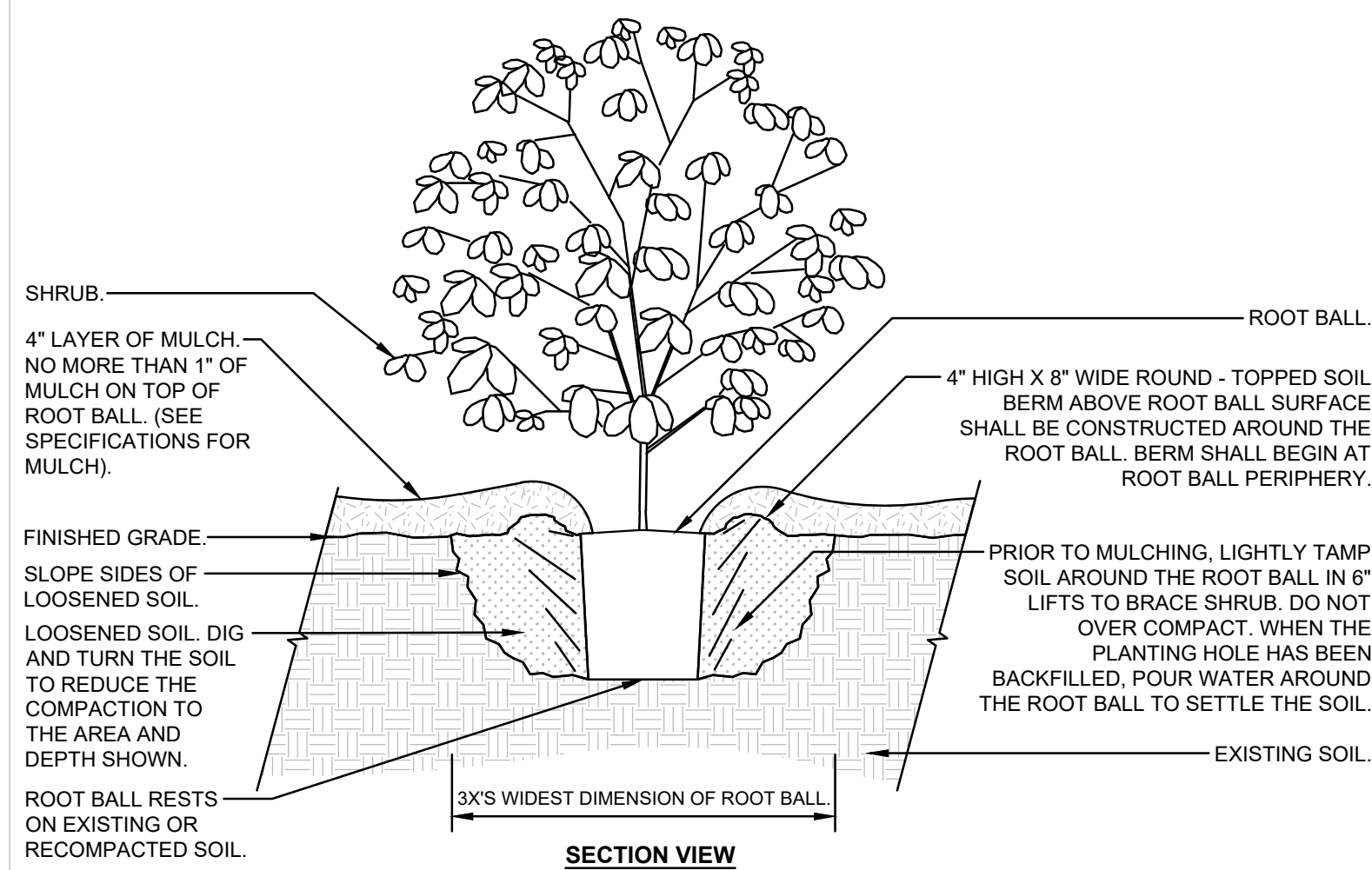
SCALE: NOT TO SCALE



- NOTES:**
- SEE LANDSCAPE NOTES AND SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

### 3 Tree With Berm - Existing Soil Unmodified

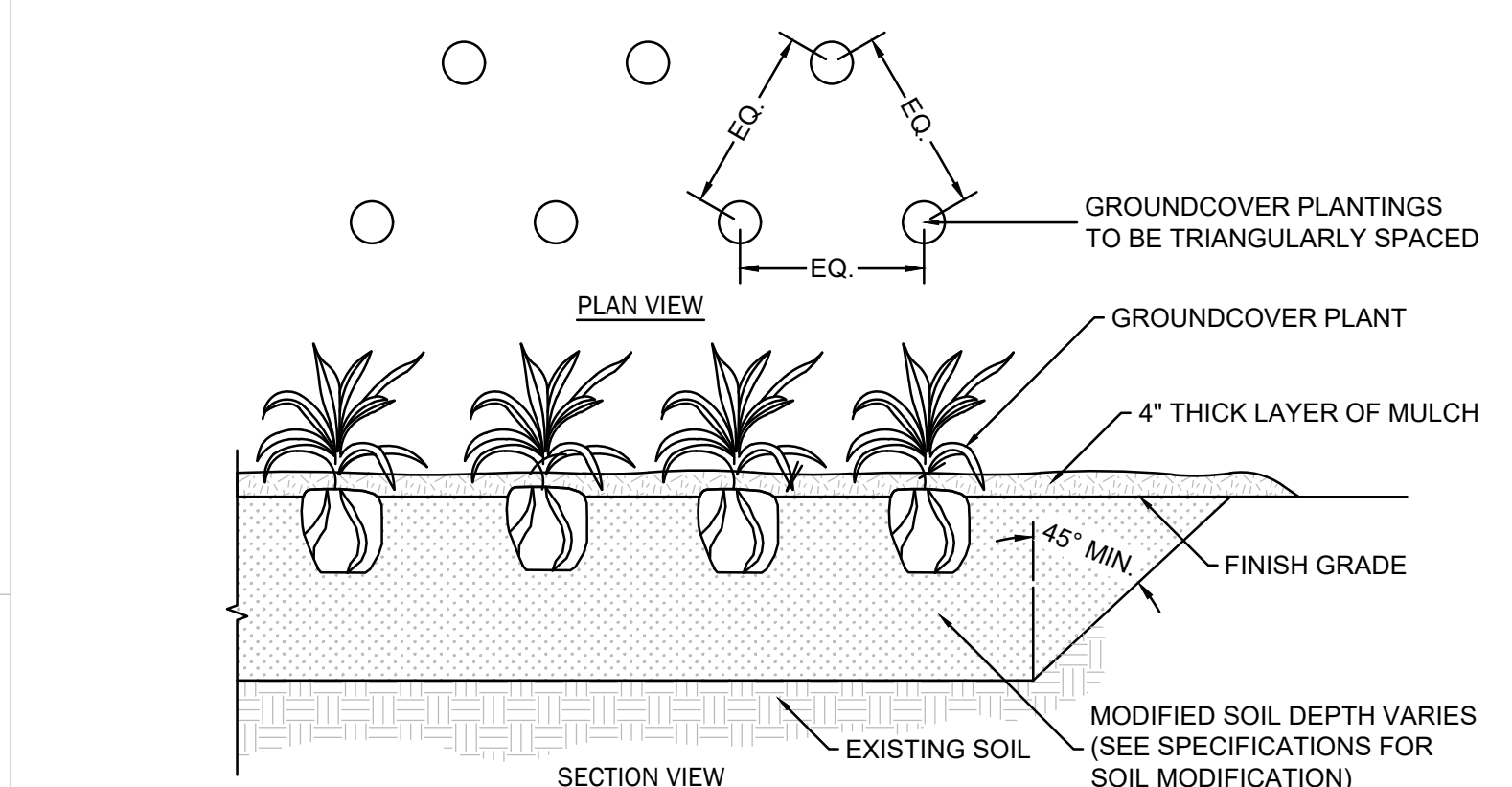
SCALE: NOT TO SCALE



- NOTES:**
- SEE LANDSCAPE NOTES AND SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.

### 4 Shrub Planting - Unmodified Soil

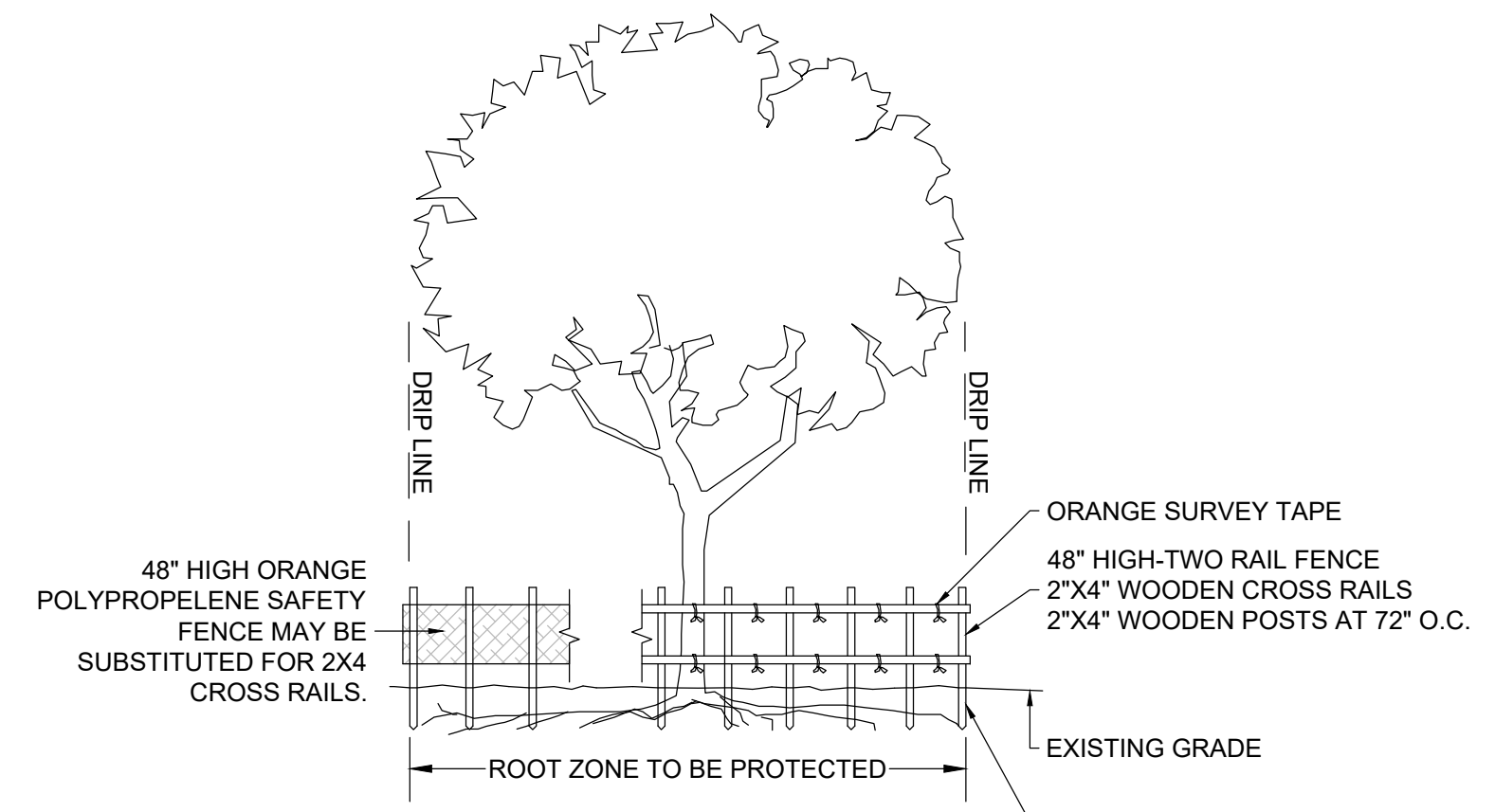
SCALE: NOT TO SCALE



- NOTES:**
- SEE LANDSCAPE NOTES AND SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.
  - SEE PLANT SCHEDULE FOR PLANT SPECIES, SIZE, AND SPACING DIMENSION.
  - SMALL ROOTS (1/2" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY CAN BE REMOVED AT THE TIME OF PLANTING.
  - THOROUGHLY TILL IN PLANTING SOIL MIXTURE AMENDMENTS TO DEPTH OF 8" IN ENTIRE GROUND COVER BED AREA. WORK SOIL TO LOOSE, UNIFORMLY FINE TEXTURE.
  - CONTRACTOR IS RESPONSIBLE FOR PROVIDING DRAINAGE FROM PLANTING HOLE/BEDS IF COMPACTED SOILS OR POORLY DRAINED SOIL IS ENCOUNTERED.
  - HAND-TAMP BACKFILL TO REMOVE VOIDS AND AIR POCKETS. WATER IMMEDIATELY AFTER PLANTING UNTIL NO MORE WATER IS ABSORBED.

### 5 Groundcover / Ornamental Grass Planting Detail

SCALE: NOT TO SCALE



- NOTES:**
- BARRICADES SHALL BE INSTALLED AROUND ALL TREES INDICATED ON THE PLANS ACCORDING TO THE FOLLOWING STANDARDS:
    - WHERE POSSIBLE, LOCATE ALONG THE PERIMETER OF THE OUTER MOST SPREAD OF THE PROTECTED TREE'S BRANCHES (DRIP LINE).
    - IN NO CASE SHALL THE TREE PROTECTION BE LOCATED LESS THAN A DISTANCE EQUAL TO THE DIAMETER OF THE TREE AT BREAST HEIGHT (IN INCHES) MULTIPLIED BY 6" FROM THE BASE OF THE TREE. (I.E., A 24" TREE REQUIRES A CIRCLE OF PROTECTION WITH A RADIUS OF 144").

### 6 Tree Protection Fence

SCALE: NOT TO SCALE

PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPACING
<b>CANOPY TREES</b>						
	MT	7	MAGNOLIA GRANDIFLORA 'SOUTHERN CHARM' / TEDDY BEAR® SOUTHERN MAGNOLIA FWF / FTG	N/A	10' MIN	AS SHOWN
	NS	8	NYSSA SYLVATICA / TUPELO FWF	2" CAL	10'-12'	AS SHOWN
	QE	4	QUERCUS X 'CRIMSCHMIDT' / CRIMSON SPIRE™ OAK FWF	2" CAL	10'-12'	AS SHOWN
<b>PARKING LOT TREES</b>						
	QN	13	QUERCUS NUTTALLII / NUTTALL OAK FWF / 6' CT	2" CAL	12' MIN	AS SHOWN
<b>UNDERSTORY TREES</b>						
	AA	6	AMELANCHIER ARBOREA / DOWNY SERVICEBERRY FWF	N/A	8' MIN	AS SHOWN
	CA	11	CARPINUS CAROLINIANA / AMERICAN HORNBEAM FWF	N/A	8' MIN	AS SHOWN
	CC	4	CERCIS CANADENSIS / EASTERN REDBUD FWF / MS (3-5)	N/A	8' MIN	AS SHOWN
<b>SHRUBS</b>						
	AG	29	ABELIA X GRANDIFLORA / GLOSSY ABELIA	3 GAL	12"-18"	AS SHOWN
	DX	37	DISTYLIUM X 'PIIDIST-IV' / LINEBACKER DISTYLIUM	3 GAL	12"-18"	AS SHOWN
	FM	30	FOTHERGILLA MAJOR 'MOUNT AIRY' / MOUNT AIRY FOTHERGILLA	3 GAL	12"-18"	AS SHOWN
	ID	37	ILEX CORNUTA 'DWARF BURFORD' / DWARF BURFORD HOLLY	3 GAL	12"-18"	AS SHOWN
	IX	24	ILEX X 'MAGLAND' / OAKLAND HOLLY	3 GAL	12"-18"	AS SHOWN
	LG	40	LOROPETALUM CHINENSE / CHINESE FRINGE FLOWER	3 GAL	12"-18"	AS SHOWN
	VM	18	VIBURNUM OBOVATUM 'MRS. SCHILLER'S DELIGHT' / MRS. SCHILLERS DELIGHT WALTER'S VIBURNUM	3 GAL	12"-18"	AS SHOWN

**ABBREVIATIONS:**

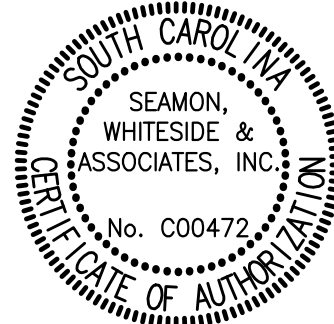
B&B = BALLED & BURLAPPED	FTG = FULL TO GROUND	OC = ON-CENTER
BR = BARE ROOT MATERIAL	FWF = FULL WELL FORMED	RF = REFOLIATED
CAL = TRUNK CALIPER (MIN)	GAL = GALLON CONTAINER	SP = SPECIMEN MATERIAL
CT = CLEAR TRUNK	HC = HURRICANE CUT	TF = TREE FORM HABIT
ESP = ESPALIER	MS = MULTI-STEMMED TRUNK	TYP = TYPICAL

### 7 Plant Schedule

SCALE: NOT TO SCALE



MOUNT PLEASANT, SC  
843.884.1667  
GREENVILLE, SC  
864.298.0534  
SUMMERVILLE, SC  
843.972.0710  
SPARTANBURG, SC  
864.272.1272  
CHARLOTTE, NC  
980.312.5450  
RALEIGH, NC  
980.312.5450  
WWW.SEAMONWHITESIDE.COM



**NOT FOR CONSTRUCTION**

**1310 TIGER BLVD**  
KENNEDY WILSON  
CITY OF CLEMSON, SOUTH CAROLINA

SW+ PROJECT: 12582  
DATE: 6/6/25  
DRAWN BY: AC | ZB  
CHECKED BY: DM | AL

**REVISION HISTORY**

A	04/17/26
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**PLANT SCHEDULE & DETAILS**

L2.0



**SEWER LINE LEGEND**

- ES — ES — **EXISTING SEWER MAIN TO REMAIN**
- ES — ES — **EXISTING CLAY PIPE TO BE ASSESSED AND POSSIBLY REPLACED**
- ES — ES — **EXISTING 8" PIPE TO BE UPSIZED TO 10"**

NOTE: THIS PLAN IS CONCEPTUAL IN NATURE AND SUBJECT TO CHANGE

