



Agenda
Planning Commission
September 14, 2026
6:00 PM
Council Chamber, Clemson City Hall

Call to Order

Public Session

Approval of Minutes

- a. August 10, 2026 - Regular Meeting

Informational Briefing: Mr. Nathan Woods

Master Plan Review

- a. MJS-000573-2026 Proposed Major Subdivision (Pendleton Road)

Action Items

- a. Consideration of Recommendation to City Council on RZNE-00579-2026 Proposed Map Amendment (Rezoning) - 835 Old Greenville Hwy.

Advisory Items

Discussion Items

Staff Reports

Other Items

- a. Planning Commission Representation at Council Meetings
- b. Future Workshops and Other Events

Adjourn

PLANNING COMMISSION MEETING

Monday, August 10, 2026

6:00 p.m.

MINUTES

The City of Clemson Planning Commission met in open session in the Council Chambers in City Hall, 1250 Tiger Boulevard, Clemson, SC.

Members present: Herb Tyler (Chair), Greg Rice (Vice-Chair), Bryan Yoder, Tiffany Franks, Benji Cumbie and John Crolley

Members absent: Tanya Hyatt

Staff present: Nathan Woods, Assistant City Administrator and Planning & Development Director; Art Holbrooks, City Planner; Jacob Peabody, Zoning & Codes Administrator; Kelly Roach, Recording Secretary.

The meeting was livestreamed and recorded on YouTube.

1. Call to Order:

Mr. Tyler called the meeting to order at 6:00 p.m., and then introduced the Commission members and staff present.

2. Public Session (2:12)

Mr. Tyler opened the session and called for comments regarding items not on the agenda; no one chose to speak. He then noted that the Commission had not received any comments through the online portal. The Public Session was closed.

3. Adoption of Minutes (5:35)

a. June 8, 2026 – Regular Meeting

Mr. Tyler called for proposed edits to the draft minutes; there were none. Mr. Tyler called for a motion. Ms. Franks made a motion to approve the minutes as presented; Mr. Cumbie seconded the motion. Mr. Tyler called for discussion; there was none. Mr. Tyler called for a vote by show of hands; there was no opposition. The motion was unanimously approved by a 6 - 0 vote.

4. Informational Briefing: Mr. Nathan Woods (6:08)

Mr. Tyler recognized Mr. Woods, who stated that he didn't have a presentation for the meeting, but informed the Commission that they would be receiving information regarding

continuing educational opportunities to meet the requirements to serve on the Planning Commission.

5. Sketch Plan Review (6:53)

a. MJS-000573-2026 Proposed Major Subdivision (Pendleton Road)

Mr. Tyler called for any updates from staff; there were none. He then recognized Mr. Tom Winkopp (applicant).

Mr. Winkopp introduced himself and his partner, Mr. Mike Newton of Craftowne Homes, and then noted that Mr. Jamie Turner with Bridgewater Engineering was also available. Mr. Winkopp then briefed the Commission on the proposed Major Subdivision that would subdivide a parcel (TMP#4053-11-67-4109 of the B.F. Robertson Subdivision) located off of Pendleton Road. If approved, the RM-1 Two-family Residential District zoned parcel would create 8 new lots. (See Attachment #1)

Mr. Tyler called for comments from the commissioners. Among the topics discussed were:

- Lot sizes
- Design of the proposed private drive
- Buffers with connected parking
- Establishment of a homeowners association
- Infrastructure upgrades
- The location of parking
- Vegetative buffers
- The anticipated price-point of the homes
- Stormwater management

Mr. Tyler called for any further comments. There were none. The Sketch Plan Review was closed.

6. Action Items (31:30)

a. 2026-R-04 Proposed Text Amendment (Student Housing District Standards)

Mr. Peabody briefed the Commission on changes made to the draft since the last meeting; an updated draft containing the final changes called out in blue font was provided to commissioners. (See Attachment #2)

Mr. Tyler called for discussion; there was none. He then called for public comment; there was none.

Mr. Tyler called for a motion. Mr. Rice made a motion to approve a positive recommendation to City Council on 2026-R-04 Proposed Text Amendment (Student Housing District Standards); Ms. Franks seconded the motion. Mr. Tyler called for discussion; there was none.

Mr. Tyler called for a roll-call vote. The results were:

Mr. Crolley – yes
Ms. Franks – yes
Mr. Yoder – yes
Mr. Cumbie – yes
Mr. Rice – yes
Mr. Tyler – yes

The motion was unanimously approved by a 6-0 vote.

b. Consideration of Amendment: Article V (Conduct of Meetings) Section 8 Planning
Commission Rules of Procedure

Mr. Holbrooks briefed the Commission on the draft amendment, noting that both staff and some commissioners had indicated the manner in which the required informal public meeting conducted by the Commission as part of the review of planned developments failed to achieve City Code's stated intent for the sessions. (See attachment #3) Mr. Tyler added that the rule change would require developers to engage with the community.

Discussion followed.

Mr. Tyler called for public comment; there was none.

Mr. Tyler called for a motion. Ms. Franks made a motion to approve the proposed amendment in order to improve opportunities for public engagement, accessibility, and effectiveness of informal public meetings; Mr. Cumbie seconded the motion. Mr. Tyler called for discussion; there was none.

Mr. Tyler the called for a roll-call vote. The results were:

Mr. Crolley – yes
Ms. Franks – yes
Mr. Yoder – yes
Mr. Rice – yes
Mr. Cumbie – yes
Mr. Tyler – yes

The motion was unanimously approved by a 6-0 vote.

7. Advisory Items - (57:35) – None

8. Discussion Items – (57:39) – None

9. Staff Reports – (57:43)

Mr. Woods informed the Commission that the middle housing standards were adopted at the last City Council meeting; and, Mr. Holbrooks reminded the commission that the public hearing for North Clemson Avenue rezoning would be at the next Council Meeting.

10. Other Items - (58:45)

- a. Planning Commission Representation at Council Meetings – None
- b. Future Workshops and Other Events - None

11. Adjourn (58:48)

Mr. Tyler called for a motion to adjourn. Mr. Rice made a motion to adjourn. Mr. Tyler called for a vote by a show of hands; there was no opposition. The motion was unanimously approved by a 6 - 0 vote.

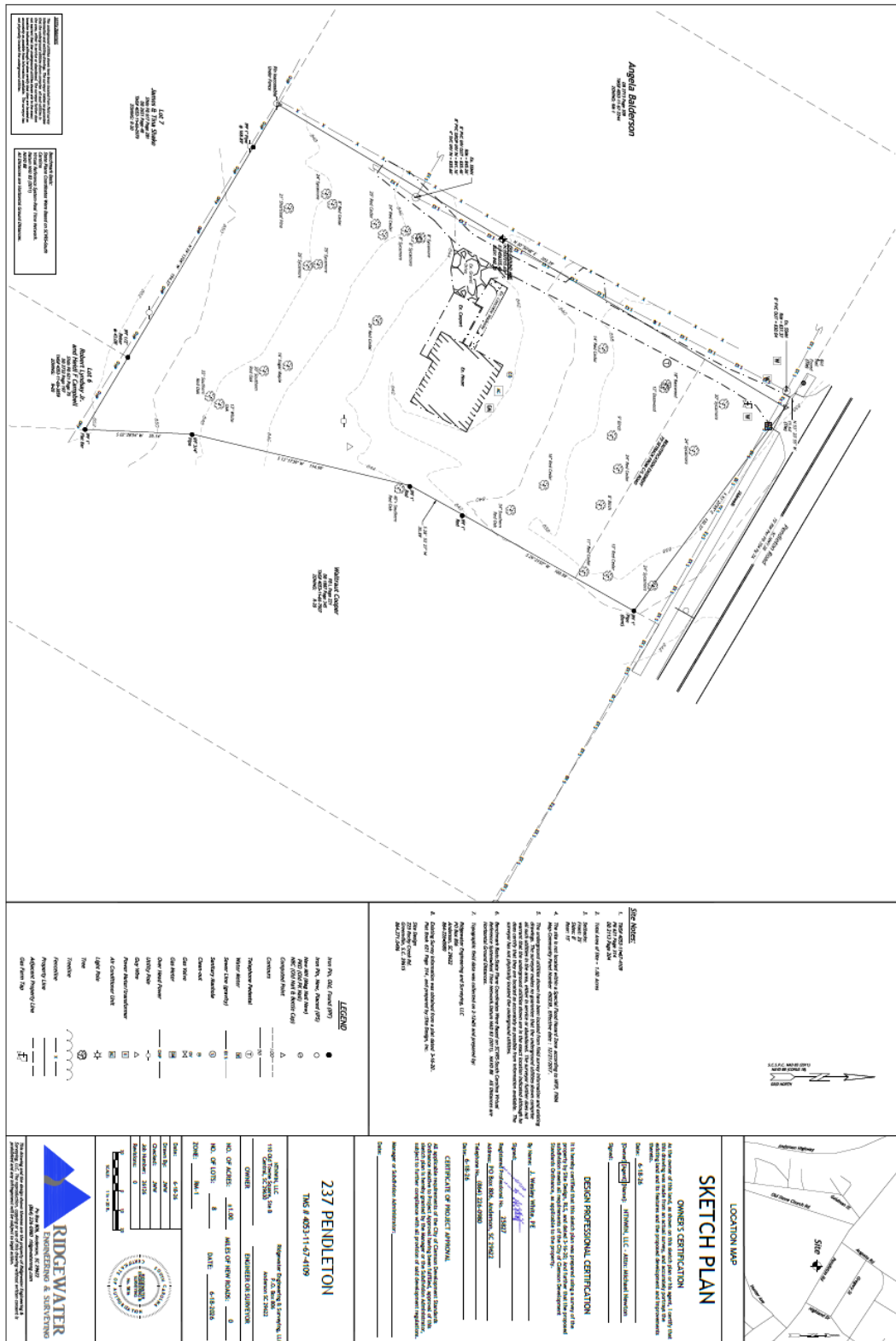
The meeting was adjourned at 6:59 p.m.

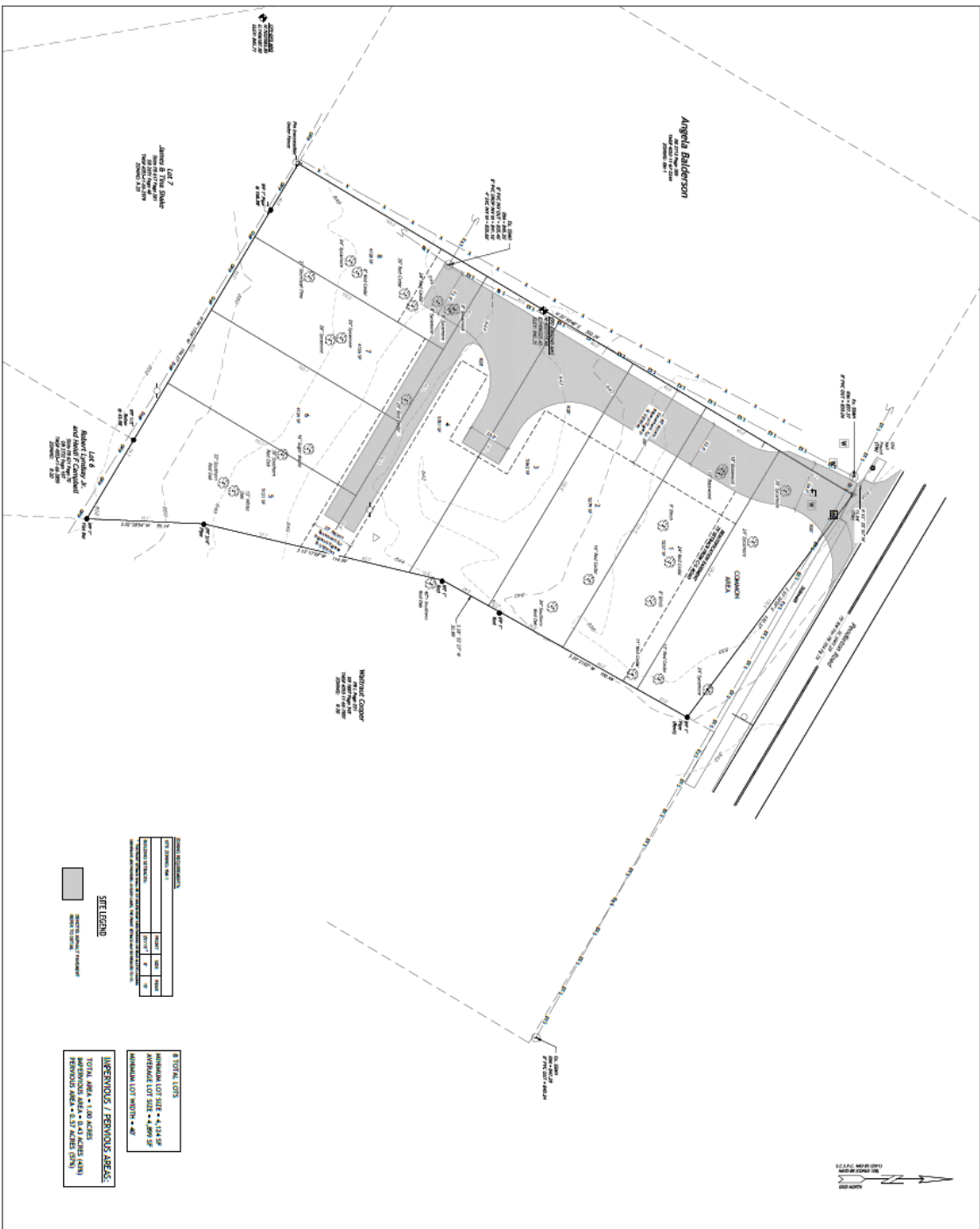
Respectfully submitted,

Kelly Roach, Recording Secretary

These minutes are in draft format and subject to change until approval by the City of Clemson Planning Commission.

MJS-000573-2026 Sketch Plan





SKETCH PLAN

OWNER'S CERTIFICATION

At the end of this brief, as shown on this sketch plan or fly report, I certify that this drawing was made from an actual survey, and accurately portrays the existing land and its features and the proposed development and improvements therein.

Date: 6-18-26

Date: 6-18-26

1

DESIGN PROFESSIONAL CERTIFICATION

It is hereby certified that this sketch plan was prepared using a survey of the property by Sita Dargatz, RLS, and dated 3-16-20. And further that the proposed subdivision meets all requirements of the City of Clemson Development Standards Ordinance, as applicable to the property.

By Name: J. Wesley White, PE

Registered Professional No. 2582

Telephone No. **(864) 226-0780**

DATE: 6-10-10

All applicable requirements of the C

subject to further compliance with

Manager or Subordinate Administration

23/11

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NETWIK, LLC
110 OLD TOWN SQUARE, STE D
CENTRAL, SC 29630

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Onsite: **Yes**

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Attachment #2

Draft Distributed at Meeting

2024-8-04 Proposed Text Amendment (Student Housing District)
Planning Commission Meeting – August 10, 2026
Proposed Text in **RED** font Original Draft

The Comprehensive Plan identifies the creation of a zoning district focused on purpose-built student housing as a way to give the City more control over ensuring new complexes are developed in appropriate locations and help relieve pressure to put developments in existing single-family and multifamily neighborhoods that could be utilized for non-student development. Therefore, this proposed text amendment is intended to establish the standards needed for a new Student Housing (SH) District in Chapter 19 (Zoning) of City Code so that properties may be rezoned SH District. It should be emphasized that, as drafted, the proposed amendment will only create the zoning provisions necessary, should the City in the future decide it is appropriate, to rezone a property; the amendment itself will make no change to any zoning on the zoning map.

Among the items addressed by the proposed amendment are:

- The creation of a definition of the district
- Types of uses permitted in the district, with appropriate conditional and special exception standards as necessary
- Accessory uses
- Density, bulk, and dimensional standards
- Updates to off-street parking space requirements needed to accommodate the new district

The Planning Commission is scheduled to take up consideration of the draft at that August 10, 2026 meeting.

CODE OF ORDINANCES

CHAPTER 19 ZONING (1)

ARTICLE III. RESIDENTIAL DISTRICTS AND DISTRICT REGULATIONS

DIVISION 1. RESIDENTIAL DISTRICTS

Sec. 19-301. Residential districts described.

1. SH Student Housing Residential District. The purpose of the SH residential district is to direct purpose-built student housing to intended areas. This district is intended to facilitate and permit high density development located adjacent to, or located on a CAT Bus or other approved mass transit route within ~~one mile of campus~~ one half mile of the Clemson University owned portion of Hwy 93. Due to the proximity to campus and mass transit access, resident parking is restricted within the district.

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2024-8-04 Proposed Text Amendment (Student Housing District)
Planning Commission Meeting – August 10, 2026
Proposed Text in **RED** font Original Draft

ARTICLE III. RESIDENTIAL DISTRICTS AND DISTRICT REGULATIONS

DIVISION 1. RESIDENTIAL DISTRICTS

Table 19-302. Table of Uses for Residential Districts

USE CATEGORY	USE TYPE	MAC										CISE Notes
		S COO E	R 20	R-2	R-7	1	2	3	4	MH	SH	
A. RESIDENTIAL USES												
Single-Family Residential Dwelling	Single-Family Dwelling	NA	P	P	P	P	P	P	P	P	-	-
Two-Family Residential Dwelling	Manufactured Home Duplex Dwelling	NA	-	-	-	-	C	-	-	-	-	-
Residential Developments, Various	Patio Home Development	NA	-	-	C	C	C	C	P	C	P	-
	Zero-Lot-Line Development	NA	-	-	C	C	C	C	C	C	C	-
	Conservation Development	NA	SE	SE	SE	C	C	C	C	C	C	-
	Townhouse Development	NA	-	-	C	C	C	C	C	C	C	C
	Multi-Family Development	NA	-	-	C	C	C	C	C	C	C	C
Group Homes	Accessory Housing	NA	-	-	SE	SE	SE	SE	-	SE	SE	-
	Group Home including Adult Transferring out of Foster Care	6232 6239 6239 90	SE	SE	SE	SE	SE	SE	C	C	C	See Exhibit 4
	Group Home for the Care of Individuals with Physical Handicaps and/or Special Needs	6232 6239 6239 90	SE	SE	SE	SE	SE	SE	C	C	C	See Exhibit 4
B. OTHER USES												
Amenity and Support Uses Serving a Neighborhood or Residential Complex	Private Recreational Facilities Serving a Neighborhood or Residential Complex, (new development)	NA	C	C	C	C	C	C	C	C	C	C
	Private Recreational Facilities Serving a	NA	SE	SE	SE	SE	SE	SE	SE	SE	C	See Exhibit 5

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[illegible]

General Government	Likely, Public	\$901 20	SE	SE	SE	SE	C	SE	P	P
	Public Safety Facilities (including Police, Fire, and EMS, but excluding jails and detention centers)	\$221 20	SE	SE	SE	SE	C	SE	-	SE
	Other Services (Community (excluding cemetery))	\$822 20	SE	SE	SE	SE	SE	SE	-	-
	Retail Store		SE	SE	SE	SE	SE	SE	-	-
	Professional Services or Office		SE	SE	SE	SE	SE	SE	-	-

ARTICLE III. RESIDENTIAL DISTRICTS AND DISTRICT REGULATIONS
DIVISION 1. RESIDENTIAL DISTRICTS
Table 19-303. Table of Accessory Uses for Residential Districts

[illegible]

USE	R-20	R-42	R-7	RM-1	RM-2	RM-3	RM-3.5	RM-4	MH	Other on site
greenhouse, garages and storage buildings										
Detached Garage (for habitation, commercial, parking, business/family dwelling)	NA	-	-	-	-	-	-	-	-	C
Equipment for Solar Energy Generation	NA	C	C	C	C	C	C	C	C	C
Fences and Walls	NA	C	C	C	C	C	C	C	C	C
Guest Cottage	NA	C	C	C	C	C	C	C	C	C
Home Conversions	NA	C	C	C	C	C	C	C	C	C
Heavy Base, including office or other use of heavy building (excluding bookshelves, selling books, quarters, nuclei, etc.)	1/25'	C	C	-	-	-	-	-	-	-
Keeping of Chickens	NA	C	C	C	C	C	C	C	C	-
Keeping of Livestock (except children)	NA	SE	SE	SE	SE	SE	SE	SE	SE	-
Parking Structures, Free-standing	8/25' 0'	SE	SE	SE	SE	SE	SE	SE	SE	SE
Private Residential Pools (including pools, hot tubs, whirlpools, etc.)	NA	C	C	C	C	C	C	C	C	C
Short-term Rentals	NA	C	C	C	C	C	C	C	C	C

ARTICLE III. RESIDENTIAL DISTRICTS AND DISTRICT REGULATIONS
DIVISION 1. RESIDENTIAL DISTRICTS
 Table 19-304. Density, Bulk, and Dimensional Requirements and Standards for Residential Districts.

USE	DISTRICTS										Notes on site
	R-20	R-22	R-27	RM-1	RM-2	RM-3	RM-3.5	RM-4	MH	EU	
A. RESIDENTIAL USES											
	1. Single-family detached dwelling										
	2. Single-family duplex										
3. Townhome (row) (group)	NA	NA	NA	NA	NA	NA	2	NA	NA		

USE	DISTRICTS									Notes on site
	R-20	R-42	R-2	RM-1	RM-2	RM-3	RM-3.5	RM-4	MH	
2) Lot area min. (square footage)	20,000'	12,000'	7,000'	7,000'	7,000'	6,000'	NA	3,000'	7,000'	
3) Lot width at front setback min. ft.	100'	80'	80'	80'	60'	50'	40'	40'	NA	
4) Front setback, min.	25'	25'	25/15'	25/15'	25/15'	25/15'	25/15'	25/15'	10'	See table 19-304.5 for Erowe e.2
5) Side setback, min.	10'	10'	0'	0'	0'	5'	5'	5'	0'	
6) Rear setback, min.	40'	40'	15'	15'	15'	15'	15'	15'	0'	See table 19-304.5 for Erowe e.3
7) Dwelling occupancy	2	2	2	2	2	3	3	4	2	
8) Structure height, max. inches	3	3	3	3	3	3	3	3	3	See table 19-304.5 for Erowe e.4
9) Lot area coverage, max. (percentage)	40/30	40/30*								
b) Main front view										

1. Lot area min. (square footage)	7,000'
2. Lot width at front building line min. ft.	65'
3. Front setback, min.	25'
4. Side setback, min.	8'
5. Rear setback, min.	15'
6. Dwelling occupancy, max.	2

USE	DISTRICTS										Buffer in feet
	R-20	R-32	R-7	RM-1	RM-2	RM-3	RM-4.5	RM-4	MH	EU	
7. Structure height, max. ft. 60ft.00					25.3						
2. Two-Family (Detached) Dwelling											
a. Density (Dwelling)											
1. Development requirements											
a. Tract area required, min. (acres)				NA	NA	NA	2	NA	NA		
b. Density, max. (structures/acre)				5	5	6	7	10	10		
c. Structure spacing, min.				10'	10'	10'	10'	10'	10'		
d. Front setback, min. overall site				20 ft. 0"	20 ft. 0"	20 ft. 0"	20 ft. 0"	20 ft. 0"	20 ft. 0"	Buffer e. 2	
e. Side setback, min. overall site				0'	0'	0'	0'	0'	0'		
f. Rear setback, min. overall site				10'	10'	10'	10'	10'	10'		
g. Structure height, max. ft. 60ft.00				25.3	25.3	25.3	25.3	25.3	25.3		
h. Dwelling occupancy, max.				2	2	2	3	3	4	2	
2. Development requirements for individual lots											
a. Lot area, min. (square footage)				7,000'	8,000'	8,000'	7,000'	6,000'	4,000'	4,000'	
b. Lot width at front building line, min.				70'	70'	70'	70'	50'	50'	50'	
c. Front setback, min.				20 ft. 0"	20 ft. 0"	20 ft. 0"	20 ft. 0"	20 ft. 0"	20 ft. 0"	Buffer on 2	
d. Side setback, min.				0'	0'	0'	0'	0'	0'		
e. Rear setback, min.				10'	10'	10'	10'	10'	10'		
f. Dwelling occupancy, max.				2	2	2	3	3	4	2	
g. Structure height, max. ft. 60ft.00				25.3	25.3	25.3	25.3	25.3	25.3	3	
h. Conditional Use Standards (RM-4.5 District Only)											
i. Residential Development, Various ¹¹											
a. P-60 Home Development											
1. Development requirements											
a. Tract acreage, min.				1	1	1	1	2	1		
										See Sheet on 11	

USE	DISTRICTS										Buffer on e. 2
	R-20	R-32	R-7	RM-1	RM-2	RM-3	RM-4.5	RM-4	MH	EU	
b. Density ¹ , max. (dwelling/acre)				10	10	14	17	21	21		Front e. 3
c. Front setback, min. for overall site				20 ft. 0"	20 ft. 0"	20 ft. 0"	20 ft. 0"	20 ft. 0"	20 ft. 0"		Front e. 2
d. Side setback, min. for overall site				10'	10'	10'	10'	10'	10'		
e. Structure spacing, side				10'	10'	10'	10'	10'	10'		
f. Rear setback, min. for overall site				10'	10'	10'	10'	10'	10'		
g. Structure spacing, rear				30'	30'	30'	30'	30'	30'		
h. Dwelling occupancy, max. i. Structure height max. ft. 60ft.00				2	2	3	3	4	2		
max. ft. 60ft.00				25.3	25.3	25.3	25.3	25.3	3		
2. Development requirements for individual lots											
a. Lot area per dwelling unit ² , min. (dwelling footprint)				4,000'	4,000'	3,000'	2,200'	2,000'	2,000'		Front e. 7
b. Lot width at front building line, min.				None	None	None	None	None	None		
c. Front setback, min.				20 ft. 0"	20 ft. 0"	20 ft. 0"	20 ft. 0"	20 ft. 0"	20 ft. 0"		
d. Side setback, min.				0'	0'	0'	0'	0'	0'		
e. Rear setback, min.				10'	10'	10'	10'	10'	10'		
f. Dwelling occupancy, max. g. Structure height max. ft. 60ft.00				2	2	3	3	4	2		
max. ft. 60ft.00				3	3	3	3	3	3		
3. Conditional Use Standards (RM-1, RM-2, RM-3, & RM-4 Districts Only)											
4. Conditional Use Standards (RM-4.5 District Only)											
5. Conditional Use Standards (R-7, MH, RM-1, RM-2, RM-3, & RM-4 Districts Only)											
											See Sheet on 20L See Sheet on 20L See Sheet

USE	DISTRICTS						Notes on Ord.
	R-20	R-32	R-7	RM-1	RM-2	RM-3	
e. Conditional Use Standards (RM-2.5 District Ord.)							
b. Zero-Lot-Line Development							
1. Development requirements for residential b.v.							
a. Lot width at front building line, min.			None	None	None	None	None
b. Lot area per dwelling unit ¹ , min.			4,000'	4,000'	3,000'	2,800'	2,000'
c. Front setback, min.			25'10" ±	25'10" ±	25'10" ±	25'10" ±	25'10" ±
d. Side setbacks ¹ , min.			0'10" 1-story 0'10" 2-story	0'10" 1-story 0'10" 2-story	0'10" 1-story 0'10" 2-story	0'10" 1-story 0'10" 2-story	0'10" 1-story 0'10" 2-story
e. Rear setbacks, min.			10'	10'	10'	10'	10'
f. Dwelling occupancy, max.			2	2	3	3	4
g. Structure height, max in stories			3	3	3	3	3
2. Conditional Use Standards (RM-1, RM-2, RM-3, & RM-4 Districts)							
3. Conditional Use Standards (RM-3.5 District Ord.)							
e. Conditional Use Development							
1. Conditional Use Standards (R-7, M-1, RM-1, RM-2, RM-3, & RM-4)							
2. Conditional Use Standards (RM-3.5 District Ord.) ¹							
3. Special Exclusion Standards (R-20 & R-7.2 District Ord.)							
d. Townhouse Development							
1. Development text requirements							
							Encls # 2

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USE	DISTRICTS						Notes on Ord.
	R-20	R-32	R-7	RM-1	RM-2	RM-3	
a. Total area reserved, min./lot ¹						NA	2
b. Density, max./dwelling unit ¹						21	29
c. Front setbacks, min. for overall site						25'10" ±	25'10" ±
d. Side setbacks, min. for overall site						0' interior 10' exterior	0' interior 10' exterior
e. Rear setbacks, min. for overall site						10' interior 10' exterior	10' interior 10' exterior
f. Impermeable surface coverage, max.						00%	60%
g. Open space requirements, min.						25%	25%
h. Common open space requirements, min.						3%	4%
i. Building spacing, min.						30'	30'
j. Dwelling occupancy max						3	3
k. Structure height, max stories						3	3
2. Development requirements for residential b.v.							
a. Lot area (minimum 10,000 sq. ft.)			3,500	3,500	3,500	2,000	1,500
b. Front setbacks, min.			25'10" ±	25'10" ±	25'10" ±	25'10" ±	25'10" ±
							Encls # 2

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DISTRICTS											
USE	R-20	R-12	R-7	RM-1	RM-2	RM-3	RM-3.5	RM-4	MH	ED	Park on site
c. Store setbacks, min.			0' interior, 15' exterior	0' interior, 15' exterior	0' interior, 15' exterior	0' interior, 15' exterior	0' interior, 15' exterior	0' interior, 15' exterior	0' interior, 15' exterior	0' front, 10' side	
d. Rear setbacks, min.		15'	15'	15'	15'	15'	15'	15'	15'	15'	
e. Dwelling occupancy, max		2	2	2	3	3	3	4	2	4	
f. Structure height, max		3	3	3	3	3	4	4	3	4	
3. Conditional Use Standards (RM-3 & RM-4 Districts Only)											
4. Conditional Use Standards (RM-3.5 District Only)											
e. Multi-family Development											
1. Development requirements											
a. Total area (max), min.							2				
b. Lot width at front setback line, min.						60'	60'	60'	80'	141	
c. Density max (per lot/acre)						25	See Section 163.1.1	00		141	See Section 163.1.1
Density, max units per lot/acre									40		
d. Impervious surface coverage, max.						60%	60%	60%	60%	60%	
e. Open space requirements, min.						25%	25%	25%	25%	25%	
f. Corner open space requirements, min.						3%	4%	4%	4%	4%	

[illegible]

USE	DISTRICTS									
	R-20	R-12	R-7	RM-1	RM-2	RM-3	RM-3.5	RM-4	MM	Refer on CR
1. All District Standards	All District Standards set by the ZMA in accordance with the Special Exception Standards									

5. Group Homes										
a. Group Home										
1. Lot area, min. (acres)	1	1	1	1	1	1	1	1	1	1
2. Lot width at front building line, min.	50'	50'	150'	50'	150'	50'	50'	150'	50'	150'
3. Front setback, min.	40'	40'	40'	40'	40'	40'	40'	40'	40'	40'
4. Side setback, min.	40'	40'	40'	40'	40'	40'	40'	40'	40'	40'
5. Rear setback, min.	40'	40'	40'	40'	40'	40'	40'	40'	40'	40'
6. Structure shall shall be max. 100 sq ft	50' 3	50' 3	50' 3	50' 3	50' 3	50' 3	50' 3	50' 3	50' 3	50' 3
7. Impervious surface coverage, max.	30%	30%	30%	30%	30%	30%	30%	30%	30%	30%
8. Conditional Use Standards (RM-2, RM-3.5, & RM-4 Districts only)										
9. Special Exception Standards (R-20, R-12, R-7, MM, SM SM , RM-1, & RM-2 Districts only)										
b. Group Home for the Care of Individuals with Physical Handicaps and/or Special Needs										
1. Conditional Use Standards (RM-2, RM-3.5, & RM-4 Districts only)										

2. Special Exception Standards (R-20, R-12, RM-1, & RM-2 Districts only)										
B. OTHER USES										
2. Priority and Support Use Serving a Neighborhood or Residential Complex										
a. Priority Residential/office Serving a Neighborhood or Residential Complex										
1. Lot area, min. (square foot)	20,000'	12,000'	7,500'	7,500'	7,500'	6,000'	6,000'	6,000'	6,000'	6,000'
2. Lot width at front setback line, min.	100'	80'	60'	60'	60'	50'	50'	50'	50'	50'
3. Front setback, min.	25'	25'	25'	25'	25'	25'	25'	25'	25'	25'
4. Side setback, min.	10'	5'	5'	10'	5'	5'	5'	5'	5'	5'
5. Rear setback, min.	25'	25'	25'	25'	25'	25'	25'	25'	25'	25'
6. Structure shall max.	35'	35'	35'	35'	35'	35'	35'	35'	35'	35'
7. Lot area coverage, max.	45%	45%								
8. Conditional Use Standards for New Developments (All Residential Districts)										
9. Special Exception Standards for Facilities Serving an Existing Development/Neighborhood that Previously Devoted to a Manufacturing/Industrial Residential District										
b. Storage/Warehouse and Utility Trunk or Corridor, Canal Property										
c. Conditional Use Standards (RM-1, RM-2, RM-3, RM-3.5, and RM-4 Districts only)										
c. Management Office Serving a District, Township, or Municipality Development										
1. Conditional Standards (RM-1, RM-2, RM-3, RM-3.5, and RM-4 Districts)										
See Secd. on 30, 35, 37.5										See Secd. on 30, 35, 37.5

[illegible][illegible]

[illegible]

2.	Public Recreation Facilities									
	a. Public Recreation Facilities, Private									
	1. Front setback, min.	20'	20'	20'	20'	20'	20'	20'	20'	20'
	2. Side setback, min.	20'	20'	20'	20'	20'	20'	20'	20'	20'
	3. Rear setback, min.	20'	20'	20'	20'	20'	20'	20'	20'	20'
	4. Structure base a. max. including lighting structures below which are subject to ARTICLE 200	10'	10'	10'	10'	10'	10'	10'	10'	10'
	b. Public Recreation Facilities, Active									
	1. Front setback, min.	00'	00'	00'	00'	00'	00'	00'	00'	00'
	2. Side setback, min.	00'	00'	00'	00'	00'	00'	00'	00'	00'
	3. Rear setback, min.	00'	00'	00'	00'	00'	00'	00'	00'	00'
4. Structure base a. max. including lighting structures below which are subject to ARTICLE 200	40'	40'	40'	40'	40'	40'	40'	40'	40'	
3.	General Government									
	a. Entry Pk/B									
	1. Building area max. (includes lot area)					4,000'	4,000'	4,000'	4,000'	4,000'
	2. Front setbacks, min.					50'	50'	50'	50'	50'
	3. Side setbacks, min.					50'	50'	50'	50'	50'
	4. Rear setbacks, min.					50'	50'	50'	50'	50'
	Slope Standard or Min. Slope									
	See Ordinance or LE X									
	Slope Standard or Min. Slope									
	See Ordinance or LE X									

5. Structure 200 Min. max. ft. (61/19.5)													
		400' 4	400' 4	400' 4	400' 4	400' 4	400' 4	400' 4	400' 4				
6. Conditional Use Standards (RMA 3 & District only)													
7. Special Exception Conditions P-20, P-12, P-7, RMA 1, RMA 2, RMA 3, RMA 4 District Only													
8. Special Exception Standards (P-20, P-12, P-7, RMA 1, RMA 2, RMA 3, RMA 4 District Only)													
9. Other Services													
a. Cemetery (including Cemetery)													
1. Lot area, min. (acres)	2	2	2	2	2	2	1	1	1				
2. Lot width at front building line, min.	25'0"	25'0"	25'0"	25'0"	25'0"	25'0"	25'0"	25'0"	25'0"				
3. Front setback, min. (including driveway)	25'	25'	25'	25'	25'	25'	25'	25'	25'				
4. Side setbacks, min. (including driveway)	10'	10'	10'	10'	10'	10'	10'	10'	10'				
5. Rear setbacks, min. (including driveway)	10'	10'	10'	10'	10'	10'	10'	10'	10'				
6. Structure height max.	15'	15'	15'	15'	15'	15'	15'	15'	15'				
Save on 100	Save on 100	Save on 100	Save on 100	Save on 100	Save on 100	Save on 100	Save on 100	Save on 100	Save on 100				

[illegible]

Ord. No. CC-2014-05, § 1, 8-18-14; Ord. No. CC-2015-24, 7-20-15; Ord. No. CC-2016-19, 7-5-16; Ord. No. CC-2017-02, 2-20-17; Ord. No. CC-2021-21, 10/04/2021; Ord. No. CC-2022-02, 01/03/2022; Ord. No. CC-2023-XX, XX/XX/XXXX

ARTICLE III. DIVISION 2 CONDITIONAL USE AND SPECIAL EXCEPTION STANDARDS
FOR RESIDENTIAL DISTRICT

19-305 Conditional Use and Special Exception Standards for Residential Districts

RESIDENTIAL USES

3. Residential Developments, Various

c. Townhouse Development

1. Conditional Use Standards (M4, S4, RM-3 & RM-4 Districts Only)

3. Conditional Use Standards (SH Districts Only)

- a. The height of structures is limited to 7 stories unless the main vehicular access to the site is via Daniel Drive ~~where~~ in which case the number of stories may be increased. In no case ~~can~~ may any portion of ~~a~~ a proposed building exceed height of Clemson University's Tillman Hall, or the elevation of 908 feet above mean sea level ~~so that it is shorter than Tillman Hall~~. To exceed 7 stories the required vegetative buffer must be expanded to 80' where the subject property abuts R-20 or R-12 zoned property. In the event a project is proposed to access Wyatt Avenue for vehicular traffic other than service vehicles, the maximum height of the development shall be limited to 3 stories.
- b. A bus stop or turnaround designed to meet the operational specifications of the Clemson Area Transit System (CAT) shall be provided if required by the CAT depending on availability of service;

- c. Facilities adequate to support the provision of household recycling services shall be provided to serve the development if required by the Department of Public Works; and
- d. Underground utilities shall be provided on the lot and the adjacent Right-of-Way. This can be waived with or without conditions by the Zoning Official if this is unfeasible for a reason such as the utilities in question are a Transmission line.
- e. For structures over 24 in height, the facade shall be designed to present a top, middle, and bottom story as described in ARTICLE XI, Table 19-11.02.d.
- f. Multi-family buildings that face the street shall orient the front door to face the street or a central courtyard. All entries shall be made visually prominent and receive architectural emphasis such as a recessed entry, corner entry, projecting feature such as a porch, canopy or articulated linets, or a framing feature such as pilasters or columns.
- g. Buildings having a length of 120 feet or less shall have a change in plane or significant architectural detail for each 40 feet of unbroken plane having a minimum depth of five feet.
- h. Buildings having a maximum length exceeding 120 feet in length shall have a change in plane or significant architectural detail for each 40 feet of unbroken plane having a minimum depth of five feet with a significant feature such as a courtyard or plaza incorporated into the facade's overall length. The plaza or courtyard shall have a minimum depth of 20' in depth and 20' in width. In no case shall an individual building exceed 250' in length.
- i. At least 15% of the total wall area of the front facades of any multi-family structures shall be composed of transparent glass and a minimum of 15% of the front facades shall incorporate materials or paint schemes that contrast to those used for the primary coverage.
- j. No outdoor grills, bicycles, or other personal items of the tenants shall be stored on front porches or balconies other than outdoor furniture designed for that purpose. No flags, towels, clothing or other similar items may be displayed or hung to dry from any balcony visible from adjacent properties or the public right-of-way.
- k. Prior to the issuance of a certificate of occupancy for any structure within the development, an executed copy of deed restrictions including provisions for long-term property maintenance shall be provided to the City Zoning & Codes Administrator.
- l. Dog Waste Stations must be provided and maintained for all developments allowing the residents to have dogs. If required, dog waste stations will be provided at a ratio of 1 per every 100 beds.
- m. An upper story tree will be provided every 50 ft of street frontage.

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- n. Constituent board panels cannot cover more than 20% of the exterior of the building.
- o. No parking, with the exception of handicap parking, is permitted between the front of the building and a public street.
- p. No areas for outdoor storage, trash collection or compaction, loading, or other similar uses shall be located within 35 feet of any public street or public sidewalk.
- q. Surface parking areas shall be designed as a series of smaller lots separated by planting islands. Double-sided parking areas shall provide spaces for no more than 20 cars, and single-sided parking areas provide spaces for no more than 10 cars. Planting islands shall be no less than 175 sq.ft. in area, and shall include at least on canopy tree.
- r. Trash enclosures and other service areas shall be constructed of materials and finishes consistent with the principal building.
- s. Patios and patio area floors shall be made distinct from public sidewalks through the variation of materials, patterns, and colors.
- t. Buildings at the corner of public streets shall have a corner entry integrating special design features accentuating the street corner. Examples of effective features that may meet this standard shall include, but not be limited to, cropped building corners, turrets, distinctive canopies, or other distinctive unique components.
- u. For flat roofs or facades with horizontal eaves, fascia, or parapets, the minimum vertical dimension of roofline modulation is the greater of two feet or 0.2 multiplied by the wall height (finish grade to top of the wall).
- v. All parking decks facing any public street or residentially-zoned properties (other than SH District) must be enclosed with solid walls) and shall be subject to the same design requirements specified for materials, articulation, and fenestration for other structures as provided by this Article.
- w. All parking decks facing any public street or residentially-zoned properties (other than SH District) shall mount any light fixtures on the top of the deck below the parapet or otherwise shield them in approved manner so as to not be visible from said public street or residentially-zoned property.
- x. Board of Architectural Review approval is required.

4. Group Homes

- 1. Group Home
 - a. Special Exception Standards PR-20, R-12, R-7, RM-1, & RM-2 Districts only AND

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- b. Conditional Use Standards (MH, SH, RM-3, RM-3.5, & RM-4 Districts only)
 - a. Group Home for the Care of Individuals with Physical Handicaps and/or Special Needs
 1. Conditional Use Standards (MH, SH, RM-3, RM-3.5, & RM-4) AND Storage of Watercraft and Utility Trailers on Commonly Owned Property
 1. Conditional Use Standards (MH, SH, RM-3, RM-3.5, and RM-4 Districts only); See Section 19.908
 - a. Management Office Serving a Duplex, Townhouse, or Multi-family Development
 1. Conditional Standards (MH, SH, RM-1, RM-2, RM-3, RM-3.5, and RM-4 Districts); See Section 19.304-A.3
 7. Public Recreational Facilities
 1. Public Recreational Facilities, Active
 1. Conditional Use Standards (All RM, MH, SH Districts Only) AND Special Exception Standards (R-20 & R-12 Districts Only); See Section 19.908
 8. General Government
 1. Library, Public
 1. Conditional Use Standards (RM-3.5 District only) AND
 2. Special Exception Standards (R-20, R-12, R-7, RM-1, RM-2, RM-3, RM-4, MH, SH Districts Only); See Section 19.908
 - a. Public Safety Facilities (including Police, Fire and EMS, but excluding Jails And Detention Centers)
 1. Conditional Use Standards (RM-3.5 District Only) AND
 2. Special Exception Conditions (R-20, R-12, R-7, MH, SH, RM-1, RM-2, RM-3, RM-4 Districts Only); See Section 19.908
 9. Other Services

RESIDENTIAL ACCESSORY STRUCTURES & USES ²: See Section 19.305, Endnote 2

...

3. Adult Care Services, Group Adult Care Homes, 7 to 12 clients
 - a. Conditional Use Standards (MH, SH, RM-1, RM-2, RM-3, RM-3.5 & RM-4 Only)
9. Detached Garage from habitation-commercial, semi-detached/multi-family dwellings
 - a. Conditional Use Standards (MH, SH, RM-3, RM-3.5, and RM-4 Districts Only)
18. Parking Structures, Free-standing

1. Parking Structures, Free-standing
 - a. Special Exception Standards (SH)
 1. Free-standing parking structures must be located behind the front building line of the principal structure(s) and shall otherwise comply with the dimensional standards for the principal structure(s).
 2. All exterior walls of parking structures shall be architecturally designed to be integrated with the primary building on the site, including consistent architectural design elements and building materials.
 3. Facades visible from any exterior property line or along any public right-of-way shall be designed to obscure the view of parked vehicles.
 4. All exterior lighting shall be shielded and buffered so as not to project light or glare beyond the structure walls on to any public right-of-way or adjacent property.
 5. A 30 foot type "C" buffer shall be required along any property line that abuts an R, RM or MH District property.
 6. Shall require BARR approval.

Sec. 19-802. Off-street parking space requirements.

Table 19-802. Off-Street Parking Space Requirements		
NICS Category	Use Type	Parking Spaces Required
Residential Uses	Dwelling Units incorporated into Mixed-Use Building	5 spaces per bedroom¹
	Single-Family Homes, Townhomes, Towns, Condominiums, Pardo Homes, Duplex Homes, Zero-Lot-Line Homes	2 spaces per dwelling unit
Multi-household dwelling complex		1 space per bedroom¹ in SH district; 5 spaces per bedroom in minimum parking lot; all other districts shall be determined by the Planning and Codes Administrator

¹ If residential units are oversized, they may be allowed at the discretion of the Planning and Codes Administrator.

Attachment #3

Proposed Amendment: Article V Section 8 PC Rules of Procedure
Planning Commission Meeting – August 10, 2026

Proposed Amendment to the Planning Commission Rules of Procedure

Background:

State law identifies the establishment of planned development districts as one a series of 'zoning techniques' called out for use by local governments. As a reminder, they are intended to be used when a proposed project involving multiple uses is deemed desirable and beneficial to the community, but cannot conform to a more typical zoning district designed for individual uses. But in spite of the special attention given to identifying them by the state's Planning Act, the rules governing the adoption and amendment of planned developments are no different than those for dealing with other zoning districts. Simply put, the basic steps for creating a planned development track with other rezonings: 1) the local planning commission must review the proposal and recommend on the matter to City Council; 2) a public hearing must be held; and, 3) Council must approve the rezoning by ordinance. The particular details related to the Planning Commission's review process are left up to the local jurisdiction, which means they can vary greatly in complexity and detail from community to community.

There are currently three main steps in our City Code for the review of a planned development by the Commission. The first is a concept presentation workshop aimed at allowing the Commission to gain an understanding of what is being proposed and, while the concept is still in its foundational stage, provide the developer input and guidance. Next is a public meeting intended to allow the developer to "communicate and coordinate with surrounding property owners and other members of the public". The session, which Code states is to be informal, requires a fee to cover the costs of advertisement and notices, but adds no new plans or other materials to what was presented at the concept workshop. In fact, it is not uncommon for much of the session to be a repeat of the concept presentation workshop. Finally, should no additional workshop be deemed necessary by the Commission, the last step is a vote is taken on a recommendation to City Council.

This proposed amendment focuses on the second of the steps—the 'informal public meeting' – which, for both commissioners and members of the public is often found lacking in terms of facilitating new or more in-depth information. The existence of the required session is based on our local requirements; it is not mandated by a state rule, and is in fact a step above and beyond what most (if any) other communities in South Carolina take during the review of planned developments. In practice, however, as noted above, the actual benefit received from the effort has been limited. Therefore, in an effort to make the meetings' more efficient and effective and to promote greater discussion and communication, this proposed amendment to the Planning Commission's Rules of Procedure will restructure the format of the sessions and provide separation from regular Commission meetings; and, increase direct interaction between the public and the developer. By making these changes, the sessions should become better venues for communication and understanding, and, as a result, much closer to what was intended to be the result of the rule in City Code.

Proposed Amendment:
(Proposed new text in RED font)

ARTICLE V - CONDUCT OF MEETINGS

Section 8

The informal public meeting held during ~~the review of~~ a Planned Development rezoning ~~request is hosted~~ **application shall be conducted** by the Planning Commission to facilitate discussion between the applicant (**developer**) and members of the public ~~during the planned development rezoning process~~. The following ~~order of business~~ **rules** will normally be observed; however, ~~it may be rearranged by the Chair~~ **for expeditious conduct of business** shall reserve the right to amend them as deemed practical or necessary to facilitate efficiency and/or effectiveness of a session on a case-by-case basis:

- ~~1. The applicant of the proposed planned development shall present the plan. The applicant shall be limited to 15 minutes; however the Chair may authorize an extension of five (5) minutes.~~ **Sessions shall not typically be part a regular meeting, but may be held prior to the beginning, following the ending, or on a different day of a regular meeting.**
- ~~2. Public questions and comments period lasting no more than 45 minutes. Each speaker shall be limited to three (3) minutes unless the Chair authorizes extensions in three (3) minute increments. Members of the public may cede their time to a designated spokesperson, whose time shall be limited to 20 minutes and the remaining time shall be allotted to other individuals at three (3) minutes each. Meetings shall typically be conducted as 'drop-in' sessions, with the applicant responsible for organization and presentation of materials/information; City planning staff may be asked to assist with coordination as needed.~~
- ~~3. No action is taken in this public meeting, but the meeting is recorded electronically.~~ **Sessions may begin with a brief introductory presentation, but shall primarily be organized to allow members of the public to review plans and materials and discuss the proposal with members of the development team; unless otherwise approved by the Chair, sessions will be no longer than one hour in length. If possible, all meetings shall be recorded.**
- 4. All meetings shall be conducted in an informal but safe and respectful manner; security measures (the presence of a police officer, etc.) shall be consistent with other advertised public City meetings.**
- 5. No less than two members of the Planning Commission shall typically attend and observe sessions; basic minutes of all informal public meetings shall be reviewed and approved by the Commission at the next regular meeting.**
- 6. Unless otherwise approved by the Chair, prior to the Commission conducting a vote on a recommendation to City Council, the applicant will appear at a workshop session that includes, in addition to any other timely development-related matters, a summary of the issues discussed during the informal public meeting, and the efforts taken address them.**

FOR REFERENCE---CURRENT REQUIREMENTS:

Current City Code:

ARTICLE V. PLANNED DEVELOPMENT (PD) DISTRICT REGULATIONS

Sec. 19-504. Application and review procedures.

The following procedures outlined in Table 19-504 shall apply to establishment of a PD district, other provisions of this article to the contrary notwithstanding:

Table 19-504. Application and Review Procedures for Planned Development Amendments
E. Public Meeting:
1. An applicant for a PD amendment shall pay a <u>fee</u> established by the <u>City Council</u> for the costs of publishing notices and conducting a required informal public meeting.
2. The Planning Commission shall conduct the informal public meeting, at which the applicant shall describe and explain the proposed PD development plan in an understandable manner.
3. Newspaper notice of the meeting shall be made 10 days prior to the meeting and shall include a map of the location of the proposed PD site.
4. Notices shall be posted on the property and mailed to property <u>owners</u> within 200 feet of the property subject to the proposed PD 10 days prior to the public meeting.
5. The informal public meeting shall provide an opportunity for the applicant to communicate and coordinate with surrounding property owners and other members of the public with an interest in the proposed development.

Current Planning Commission Rules of Procedure:

ARTICLE V - CONDUCT OF MEETINGS

Section 8

The informal public meeting held during a Planned Development rezoning request is hosted by the Planning Commission to facilitate discussion between the applicant and members of the public during the planned development rezoning process. The following order of business will normally be observed; however, it may be rearranged by the Chair for expeditious conduct of business:

1. The applicant of the proposed planned development shall present the plan. The applicant shall be limited to 15 minutes; however the Chair may authorize an extension of five (5) minutes.
2. Public questions and comments period lasting no more than 45 minutes. Each speaker shall be limited to three (3) minutes unless the Chair authorizes extensions in three (3) minute increments. Members of the public may cede their time to a designated spokesperson, whose time shall be limited to 20 minutes and the remaining time shall be allotted to other individuals at three (3) minutes each.
3. No action is taken in this public meeting, but the meeting is recorded electronically.

**Report on MJS-000573-2026 Proposed Major Subdivision (Pendleton Road)
Master Plan Review**

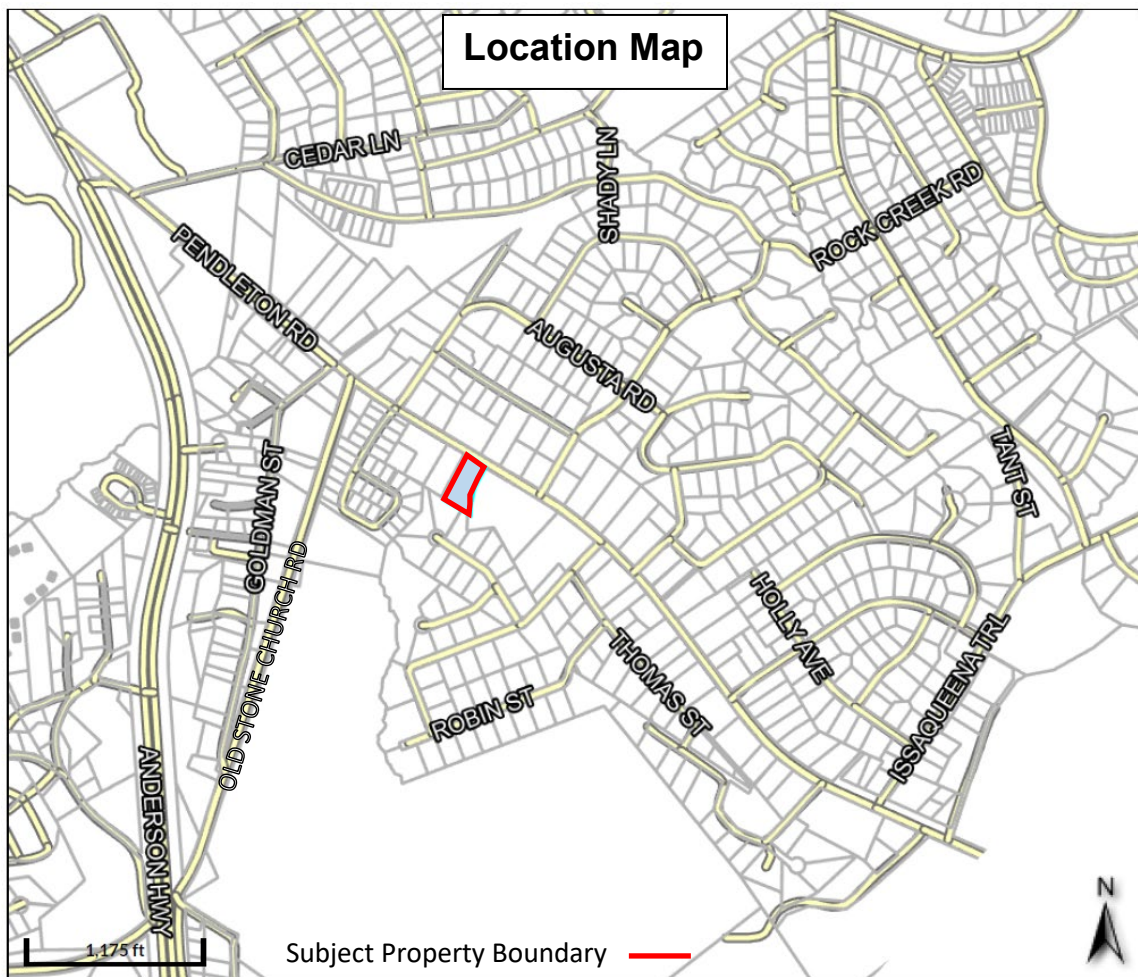
Planning Commission Meeting Date
September 14, 2026

OVERVIEW

An application to subdivide a parcel (TMP# 4053-11-67-4109/ Lot 12 of B.F. Robertson Subdivision) approximately one acre in area was received on June 18, 2026 from NTNWIN, LLC (Mr. Mike Newton). If approved, the RM-1 Two-family Residential District zoned parcel situated on Pendleton Road will be subdivided into 8 new lots (each approximately 4,500 square feet in area) for single-family residential development. Access to the lots from Pendleton Road will be by a private drive. No change in zoning is requested or needed for the subdivision as proposed.

SUBJECT PROPERTY

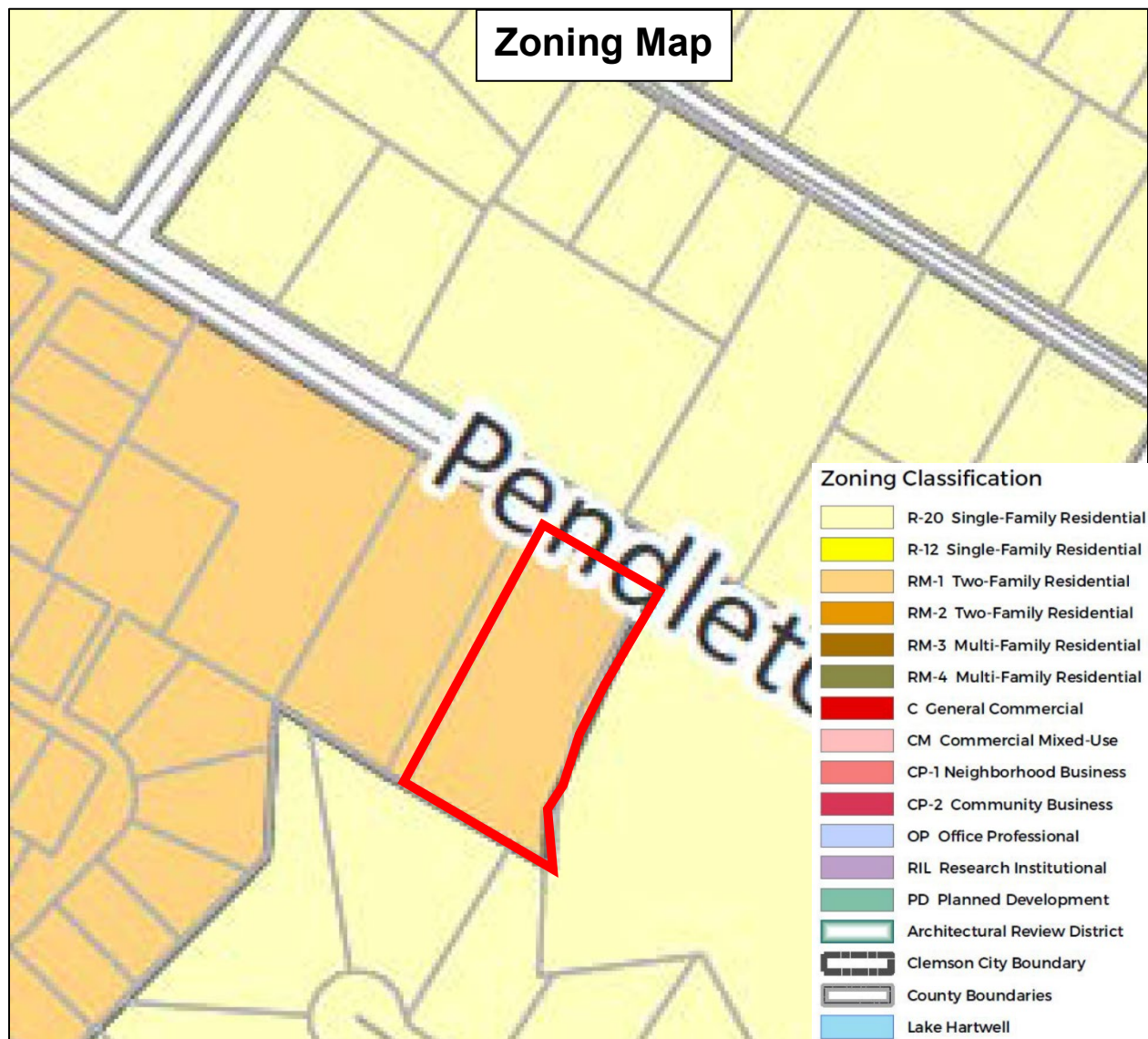
The property is located on Pendleton Road approximately 900 feet east of the Old Stone Church Road intersection, across from the Clemson Unitarian Fellowship Church. The current address associated with the property is 237 Pendleton Road.



CURRENT ZONING

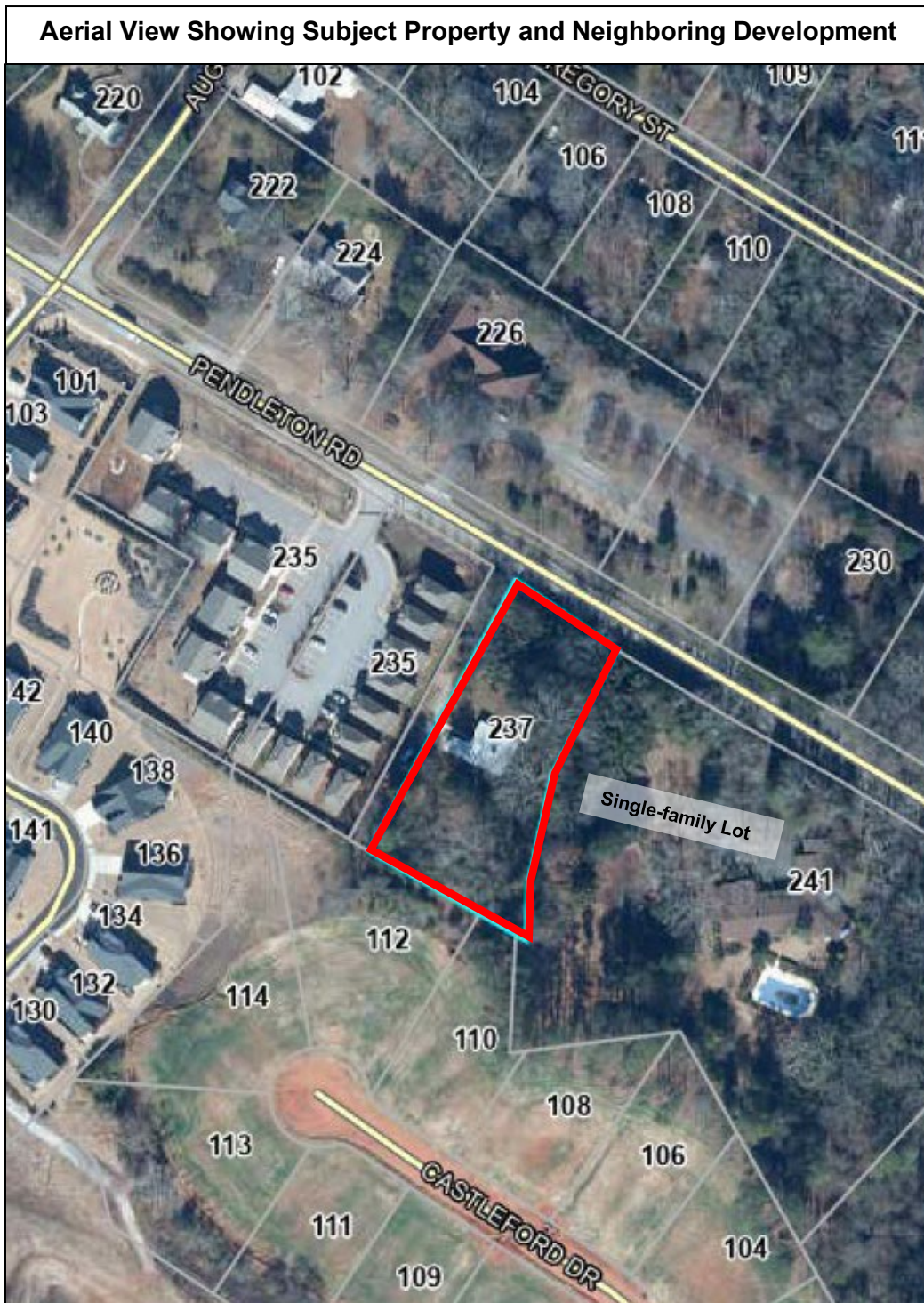
As noted above, the subject property is zoned RM-1 Two-family Residential District, which according to City Code is a district intended for “conventional residential development...on relatively small lots in areas where it is appropriate to increase density but maintain a neighborhood scale” that can buffer between multi-family and lower residential districts.

Neighboring parcels to the north, east, and south are zoned R-20 Single-family Residential District, and on the west RM-1 Two-family Residential District.



EXISTING CONDITIONS

The subject property currently includes a one-story single-family residential structure that, according to tax records, was constructed in 1955 and is currently considered a rental.



Current Entrance to Property on Pendleton Road



View of Eastern Corner of Property on Pendleton Road



Looking East on Pendleton Road at Entrance to Bamboo Cottages

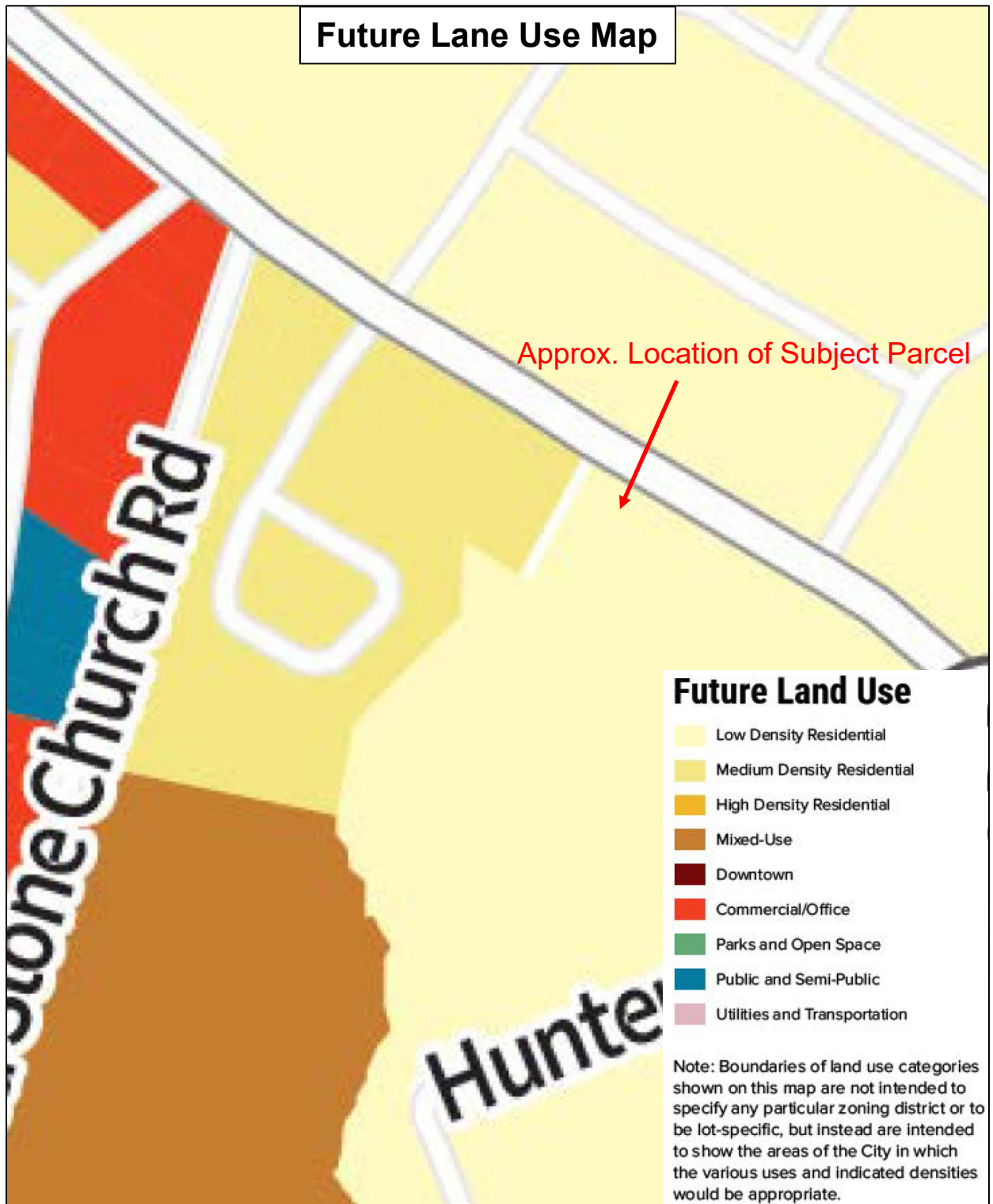


COMPREHENSIVE PLAN

Although the Comprehensive Plan contains no recommendations specifically targeted at the reference property, there are several items that can be seen to be applicable to its proposed redevelopment. One of the Plan's main recommendations for residential growth is to promote a greater diversity of housing options than has been offered traditionally, which includes facilitating the development of units on lots smaller than permitted by the R-20 and R-12 Residential District lots that dominate the City's existing neighborhoods. The subject property's RM-1 District zoning, which provides for smaller lot sizes and frontages than offered by those single-family districts, can be said to in effect, accomplish this. Additionally, the Plan calls for allowing the "strategic subdivision of oversized or underutilized" properties in existing neighborhoods. Due to the property's location beside an existing duplex development, the proposed single-family project can be seen to provide both allow for the desired increased density, while serving as a transition between the middle-density duplexes and low-density neighborhood on its east.

Although it is possible to identify the location of the subject property on the Future Land Use Map (FLUM), it should be noted that the FLUM is not a parcel-based regulatory map like the Official Zoning Map. It is instead a map intended to indicate the recommended primary future use for the area. Also, the use categories shown on the map, while they may in some instances look similar to existing zoning districts, are not intended to identify any parcel for rezoning to a particular district. Therefore, it is

appropriate to weigh proposed projects' anticipated benefits against any inconsistency with the FLUM on a case-by-case basis.

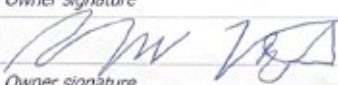


Initial Staff Review

A copy of the Sketch Plan has been provided to appropriate City departments for review, and initial staff comments have been noted and provided to the developer. No impediment to the proposed subdivision was identified.

Review Status

The Planning Commission took the matter up at their meeting on August 10, 2026 and conducted a Sketch Plan Review, the first of the three required Planning Commission reviews prior to construction of major subdivisions. The second is a Master Plan Review, which is scheduled for September 14, 2026.

 CITY OF Clemson PLANNING & DEVELOPMENT		1250 Tiger Blvd, Suite 4 • Clemson, SC 29631-2662 (864) 653-2050 Fax (864) 653-2057 www.cityofclemson.org		PC
MAJOR SUBDIVISION APPLICATION: FIVE OR MORE LOTS Complete and return this form to the Planning and Development Department with required information, attachments, and filing fee (if due). Please note that subdivision applications require a designation of agent if owner is not the applicant. A filing fee of \$250 + \$5/lot for each lot over 10 lots is due as part of the preliminary plat application; no other fee is required for other levels of review. An updated copy of this form must be submitted as part of the application for each level of review. Incomplete applications will not be accepted.				
File no.: MJS-000573-2026	IN: 4053-11-67-4109	Date submitted: 08/24/26	Planning Commission meeting date: 09/14/26	
This application is for: ☐ Sketch Plan Review ☒ Master Plan Review ☐ Preliminary Plat Review ☐ Final Plat Review				
Existing No. of Lot(s): 1		Proposed No. of Lot(s): 8		New road(s) proposed: ☐ Yes ☒ No If new road(s) proposed, total length of new road(s): N/A feet
Is the property proposed to be subdivided restricted by any recorded covenant or restriction that is contrary to or otherwise conflicts with or prohibits the proposed subdivision? ☐ Yes ☒ No				
OWNER(S) INFORMATION				
Last name: NTNWIN LLC		First: (Mike Newton)	Middle:	Interest: ☒ Sole owner ☐ Co-owner
Mailing address: 110 Old Towne Sq. suite B		City: Central	State: SC	ZIP Code: 29630
Daytime phone no.: () () ()		Fax no.: () () ()		E-mail:
APPLICANT INFORMATION				
<i>To be completed only if Owner is not Applicant:</i>				
Applicant's last name:		First:	Middle:	
Mailing address:		City:	State:	ZIP Code:
Daytime phone no.: () () ()		Fax no.: () () ()		E-mail:
PROPERTY INFORMATION				
THE OWNER/APPLICANT HEREBY REQUESTS that the property described below be subdivided as proposed on the attached documents.				
Property address: 237 Pendleton Road		Property dimensions: 120 x 313	Property area: 1 acre	
Clemson, SC 29631				
DESIGNATION OF AGENT				
<i>To be completed by Owner(s) only if Owner is not Applicant. All owners must sign.</i>				
I (we) hereby appoint the person named as Applicant as my (our) agent to represent me (us) in this appeal for a variance.				
Owner name	Owner signature	Date		
NTNWIN LLC		8-24-26		
Owner name	Owner signature	Date		
<i>To be completed by Applicant:</i>				
I certify that the information in this request is correct.				
Applicant name	Applicant signature	Date		

10202025

CIVIL PERMIT FOR

Master Plan Review
September 14, 2026

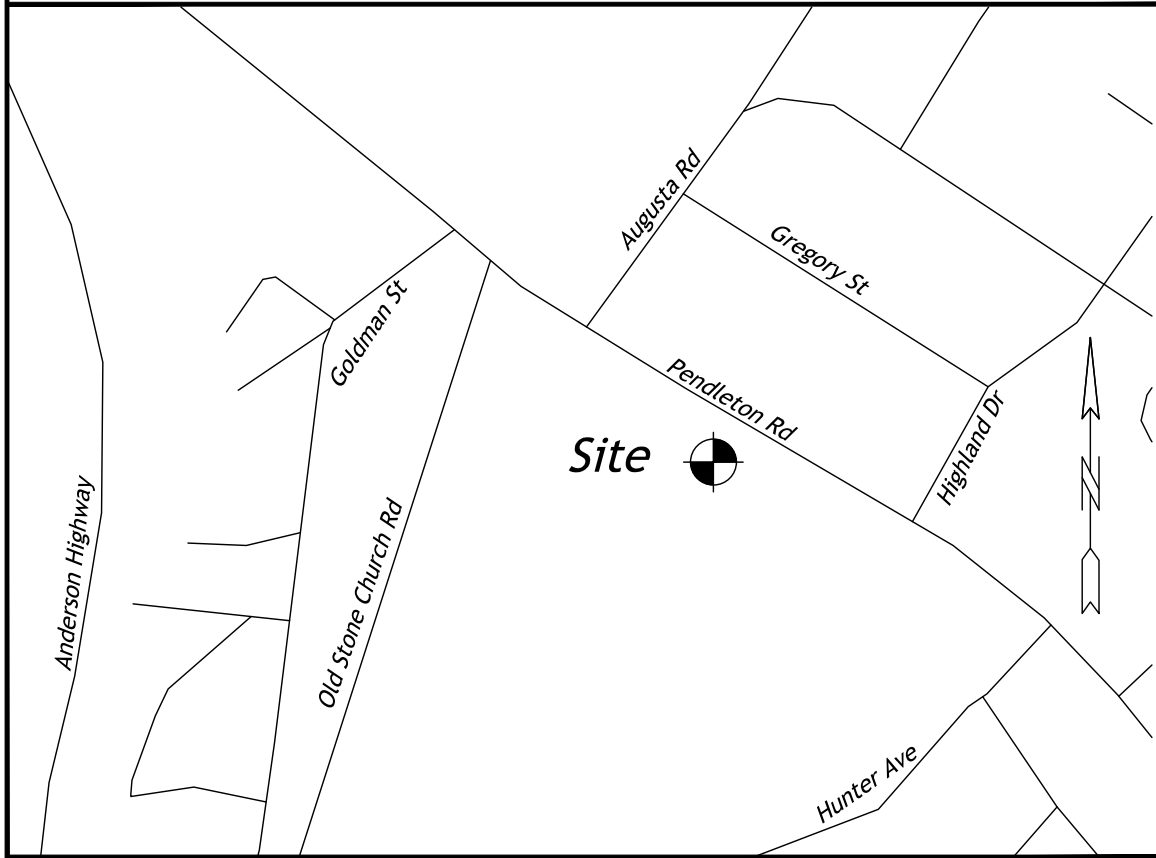
237 PENDLETON

OWNER

NTNWIN, LLC
110 OLD TOWNE SQUARE, STE B
CENTRAL, SC 29630

CIVIL ENGINEER / SURVEYOR

RIDGEWATER ENGINEERING & SURVEYING, LLC
PO BOX 806
ANDERSON, SC 29622
864.226.0980



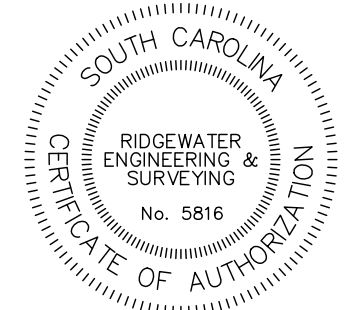
LOCATION MAP
NTS

INDEX OF DRAWINGS

- C-0 COVER SHEET
- C-1 EXISTING CONDITIONS / DEMOLITION PLAN
- C-2 SITE PLAN
- C-3 GRADING AND DRAINAGE PLAN
- C-4 STORMWATER POLLUTION PREVENTION PLAN
- U-1 SEWER AND WATER PLAN



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237 PENDLETON

CITY OF CLEMSON
SOUTH CAROLINA

DRAWN BY: JWW

CHECKED: JWW

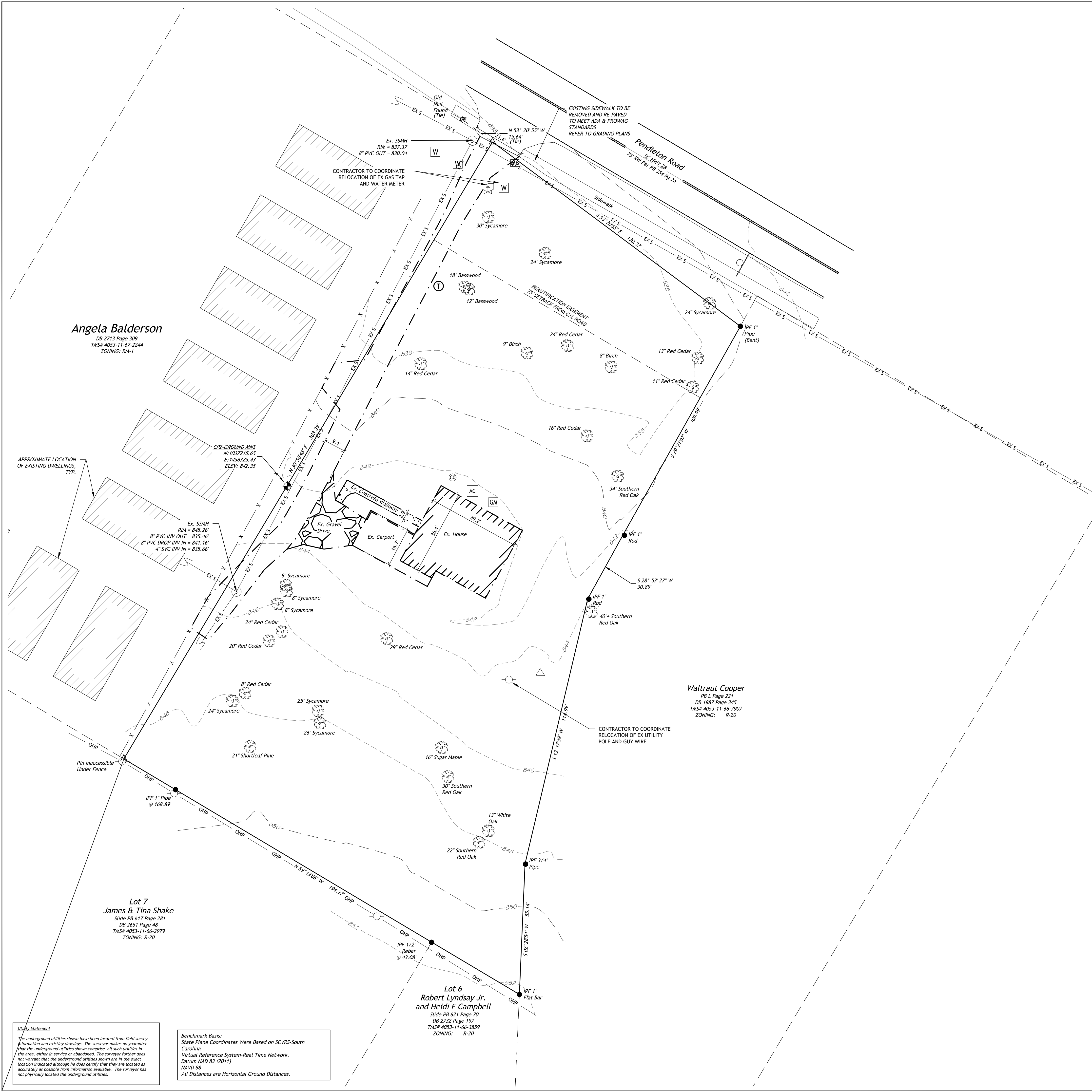
JOB NUMBER: 26126

REV #	DATE	COMMENT
0	5-18-26	For Client Review
1	6-18-26	Sketch Plan Review
2	8-21-26	Master Plan Review

SHEET

COVER
SHEET

C - 0



Site Notes:

- TMS# 4053-11-67-4109
PB 621 Page 314
DB 2113 Page 204
- Total Area of Site = 1.00 Acres
- Setbacks:
Front: 25'
Sides: 8'
Rear: 15'
- The site is not located within a Special Flood Hazard Zone according to NFIP, FIRM Map-Community Panel Number 450238, Effective date: 12/21/2017.
- The underground utilities shown have been located from field survey information and existing drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities.
- Benchmark Basis: State Plane Coordinates Were Based on SCVRS-South Carolina Virtual Reference System-Real Time Network, Datum NAD 83 (2011). NAVD 88 All Distances are Horizontal Ground Distances.
- Topographic field data was collected on 2-12-25 and prepared by:

Ridgewater Engineering and Surveying, LLC
PO Box 806
Anderson, SC 29622
864-226-0980
- Existing Survey information was obtained from a plat dated 3-16-20.
Plat Book 621 Page 314, and prepared by :Site Design, Inc.

Site Design
225 Rocky Creek Rd.
Greenville, S.C. 29615
864.271.0496

LEGEND

Iron Pin, Old, Found (IPF)	●
Iron Pin, New, Placed (IPS)	○
New MN (Mag Nail New)	⊗
PKO (Old PK Nail)	⊗
NBC (Old Nail & Bottle Cap)	⊗
Computed Point	△
Contours	--- 100 --- --- 90 ---
Telephone Pedestal	Ⓣ
Water Meter	Ⓜ
Sewer Line (gravity)	— EX S —
Sanitary Manhole	Ⓢ
Clean-out	Ⓢ
Gas Valve	Ⓢ
Gas Meter	Ⓢ
Over Head Power	— OHP —
Utility Pole	Ⓢ
Guy Wire	△
Power Meter/transformer	Ⓢ
Air Conditioner Unit	Ⓢ
Light Pole	Ⓢ
Tree	Ⓢ
Treeline	Ⓢ
Fenceline	— X —
Property Line	— — —
Adjacent Property Line	— — —
Gas Farm Tap	Ⓢ

C - 1

LOCATION MAP

MASTER PLAN

OWNER'S CERTIFICATION

As the owner of this land, as shown on this sketch plan or his agent, I certify that this drawing was made from an actual survey, and accurately portrays the existing land and its features and the proposed development and improvements thereto.

Date: 8-21-26

[Owner] [Agent] [Name]: NTNWIN, LLC - Attn: Michael Newton

Signed: _____

DESIGN PROFESSIONAL CERTIFICATION

It is hereby certified that this sketch plan was prepared using a survey of the property by Site Design, RLS, and dated 3-16-20; And further that the proposed subdivision meets all requirements of the City of Clemson Development Standards Ordinance, as applicable to the property.

By Name: J. Wesley White, PE

Signed: _____

Registered Professional No. 25827

Address: PO Box 806, Anderson, SC 29622

Telephone No. (864) 226-0980

Date: 8-21-26

CERTIFICATE OF PROJECT APPROVAL

All applicable requirements of the City of Clemson Development Standards Ordinance relative to Project Approval having been fulfilled, approval of this sketch plan is hereby granted by the Manager or the Subdivision Administrator, subject to further compliance with all provision of said development regulations.

Manager or Subdivision Administrator: _____

Date: _____

237 PENDLETON

TMS # 4053-11-67-4109

NTNWIN, LLC 110 Old Towne Square, Ste B Central, SC 29630	Ridgewater Engineering & Surveying, LLC P.O. Box 806 Anderson SC 29622
OWNER	ENGINEER OR SURVEYOR

NO. OF ACRES: ±1.00	MILES OF NEW ROADS: 0
NO. OF LOTS: 8	DATE: 8-21-2026
ZONE: RM-1	

Date: 8-21-26
Drawn By: JWW
Checked: JWW
Job Number: 26126
Revisions: 0

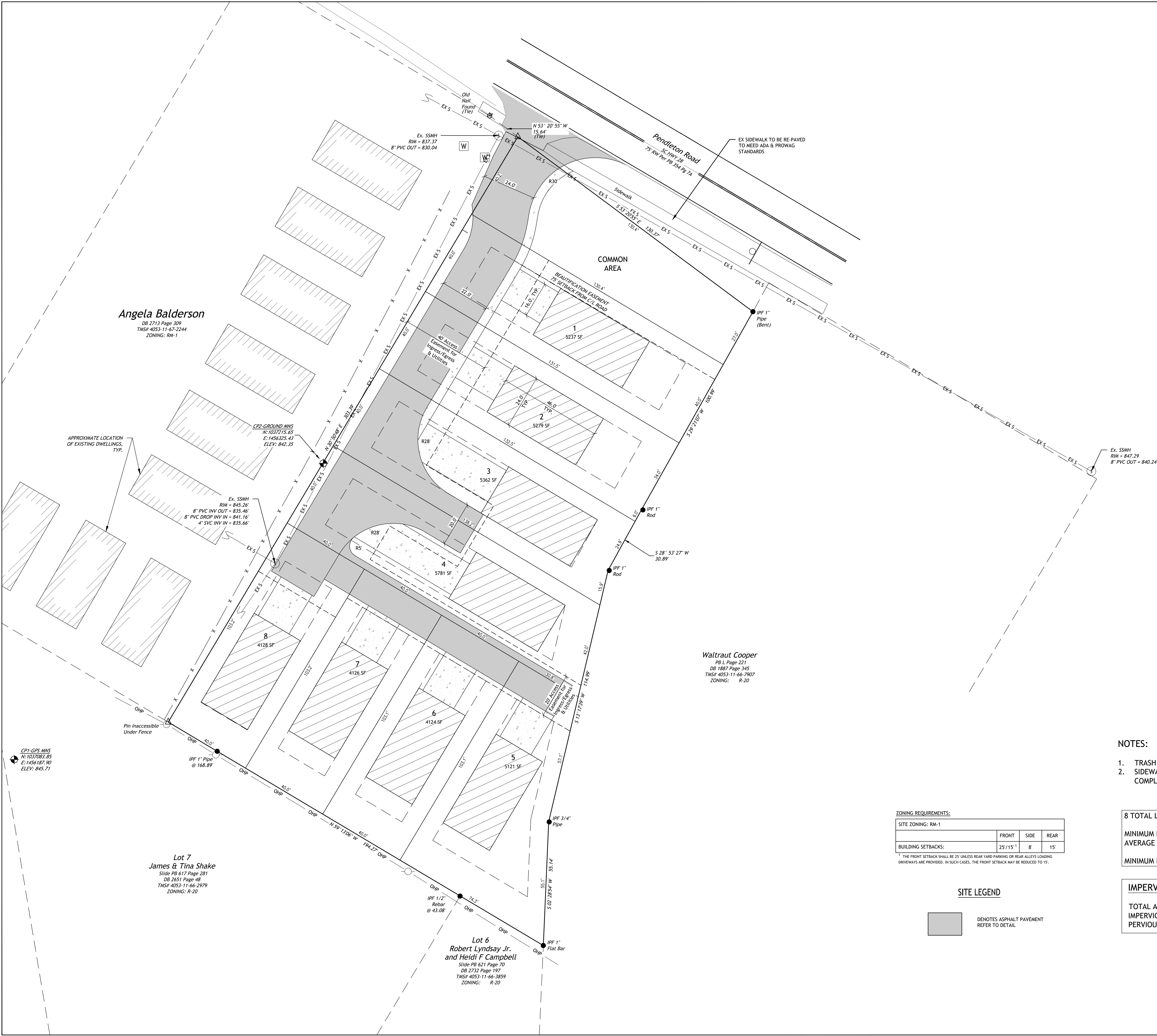
20 0 10 20
SCALE: 1 in = 20 ft.

SOUTH CAROLINA
RIDGEWATER
ENGINEERING &
SURVEYING
No. 5816
CERTIFICATE OF AUTHORIZATION

RIDGEWATER
ENGINEERING & SURVEYING

Po Box 806, Anderson, SC 29622
(864) 226-0980 ridgewatereng.com

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LOCATION MAP

MASTER PLAN

OWNER'S CERTIFICATION

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By Name: J. Wesley White, PE

Signed: _____

Registered Professional No. 25827

Address: PO Box 806, Anderson, SC 29622

Telephone No. (864) 226-0980

Date: 8-21-26

CERTIFICATE OF PROJECT APPROVAL

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Manager or Subdivision Administrator: _____

Date: _____

237 PENDLETON

TMS # 4053-11-67-4109

NTNWIN, LLC 110 Old Towne Square, Ste B Central, SC 29630	Ridgewater Engineering & Surveying, LLC P.O. Box 806 Anderson SC 29622
OWNER	ENGINEER OR SURVEYOR

NO. OF ACRES: ±1.00 MILES OF NEW ROADS: 0

NO. OF LOTS: 8 DATE: 6-18-2026

ZONE: RM-1

Date: 8-21-26	
Drawn By: JWW	
Checked: JWW	
Job Number: 26126	
Revisions: 0	

20 0 10 20
SCALE: 1 in = 20 ft.

RIDGEWATER

ENGINEERING & SURVEYING
Po Box 806, Anderson, SC 29622
(864) 226-0980 ridgewatereng.com

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NOTES:

1. TRASH TO BE SERVICED WITH ROLLOUT CARTS.

2. SIDEWALK ALONG PENDLETON ROAD TO BE MADE COMPLIANT WITH ADA & PROWAG GUIDELINES.

8 TOTAL LOTS

MINIMUM LOT SIZE = 4,124 SF

AVERAGE LOT SIZE = 4,899 SF

MINIMUM LOT WIDTH = 40'

IMPERVIOUS / PERVIOUS AREAS:

TOTAL AREA = 1.00 ACRES

IMPERVIOUS AREA = 0.43 ACRES (43%)

PERVIOUS AREA = 0.57 ACRES (57%)

ZONING REQUIREMENTS:

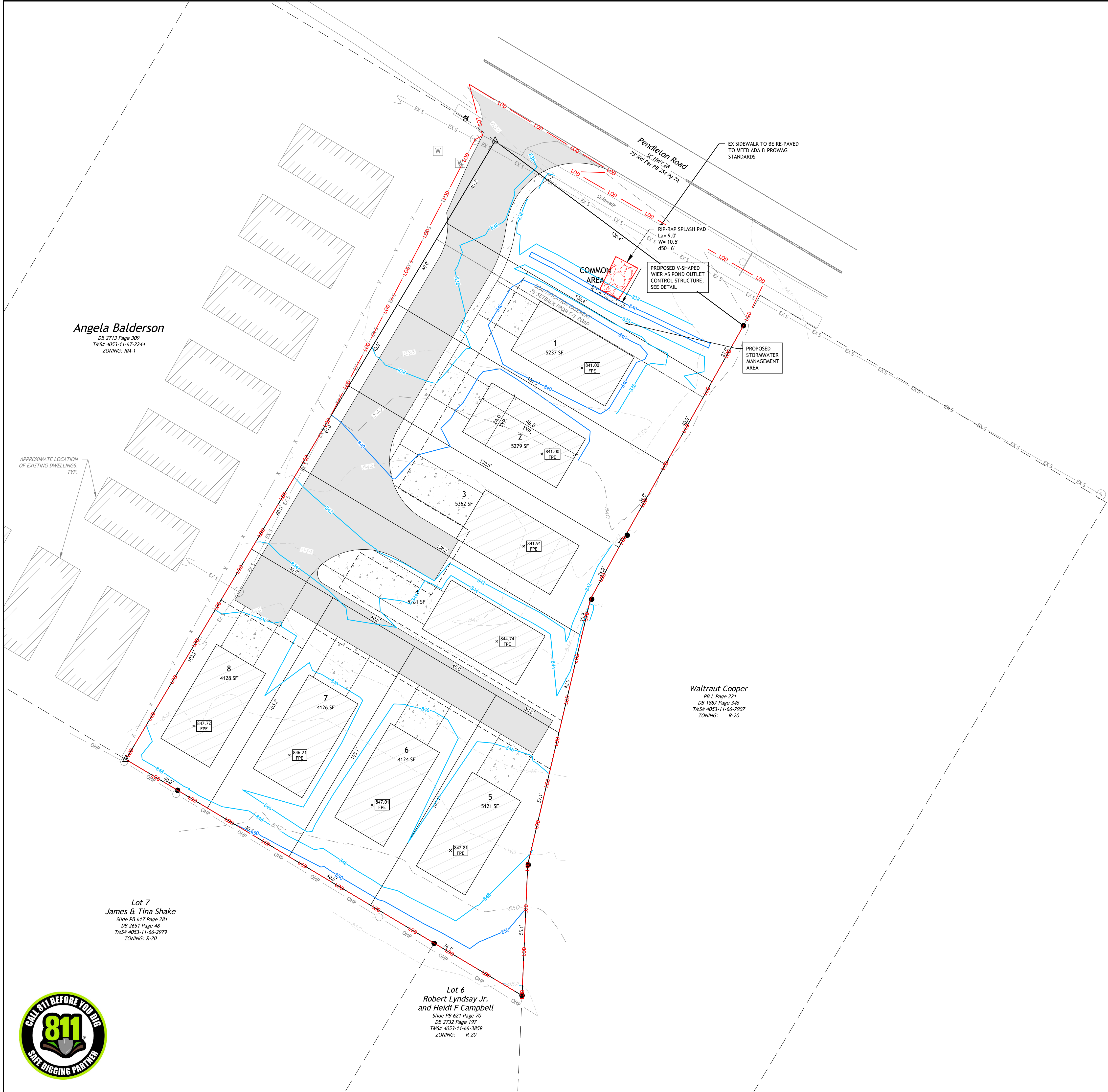
SITE ZONING: RM-1			
	FRONT	SIDE	REAR
BUILDING SETBACKS:	25'/15' ¹	8'	15'

¹ THE FRONT SETBACK SHALL BE 35' UNLESS REAR YARD PARKING OR REAR ALLEYS LOADING DRIVEWAYS ARE PROVIDED. IN SUCH CASES, THE FRONT SETBACK MAY BE REDUCED TO 15'.

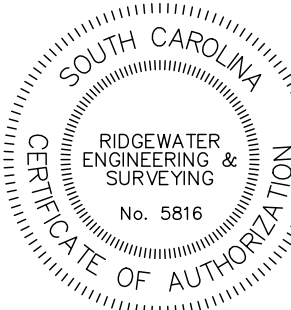
SITE LEGEND

DENOTES ASPHALT PAVEMENT
REFER TO DETAIL

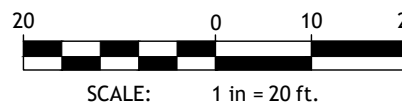
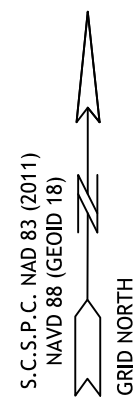
C - 2



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237 PENDLETON

CITY OF CLEMSON
SOUTH CAROLINA

DRAWN BY: JWW

CHECKED: JWW

JOB NUMBER: 26126

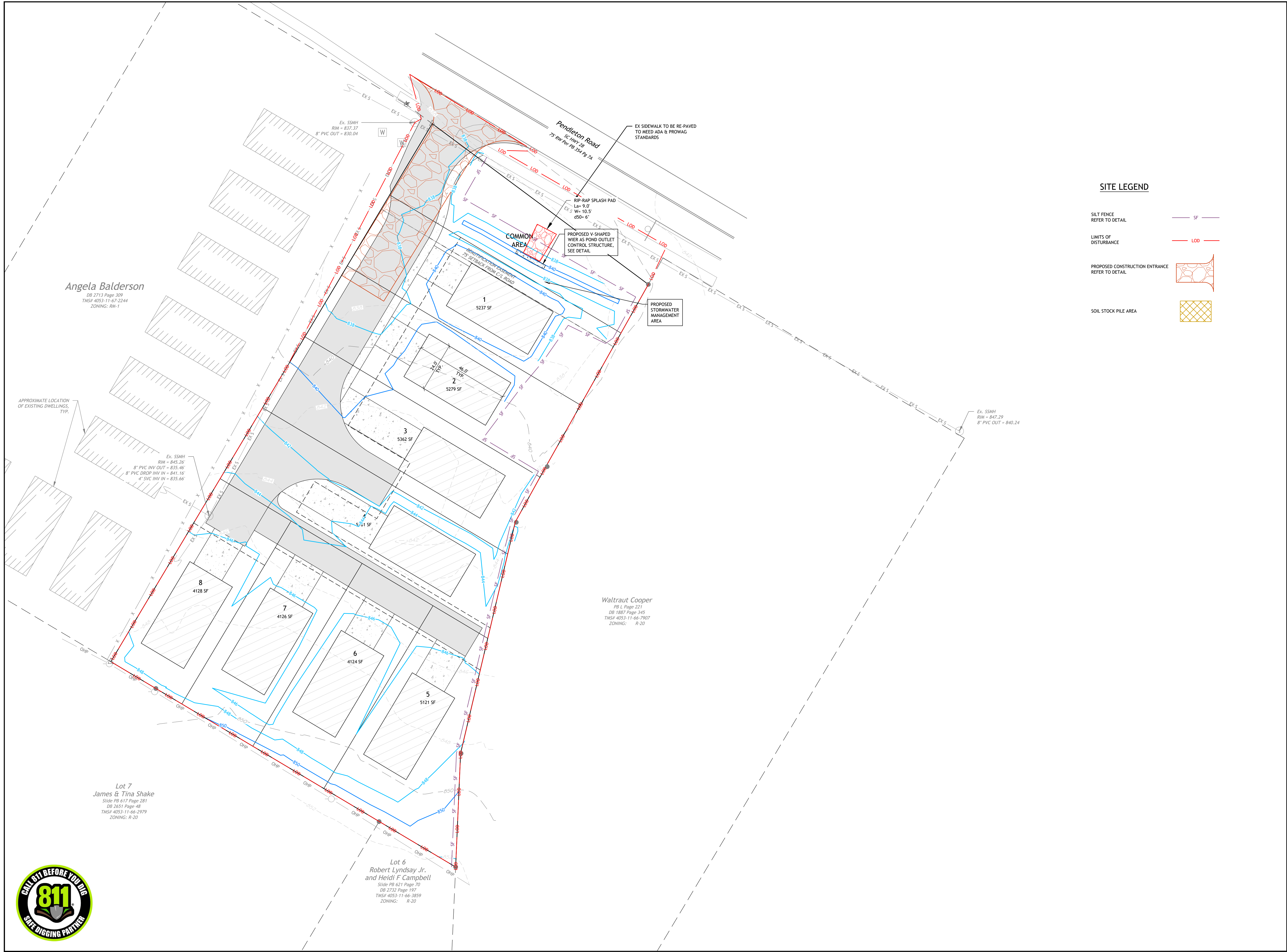
REV #	DATE	COMMENT
0	5-18-26	For Client Review
1	6-18-26	Sketch Plan Review
2	8-21-26	Master Plan Review

SHEET

GRADING &
DRAINAGE
PLAN

C - 3



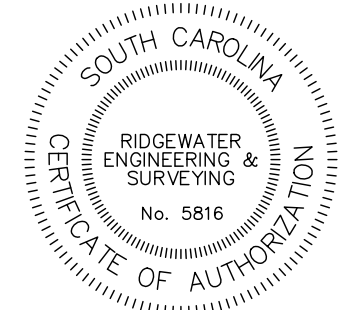


SITE LEGEND

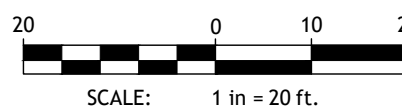
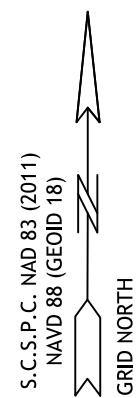
- SILT FENCE
REFER TO DETAIL
- LIMITS OF
DISTURBANCE
- PROPOSED CONSTRUCTION ENTRANCE
REFER TO DETAIL
- SOIL STOCK PILE AREA



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237 PENDLETON

CITY OF CLEMSON
SOUTH CAROLINA

DRAWN BY: JWW

CHECKED: JWW

JOB NUMBER: 26126

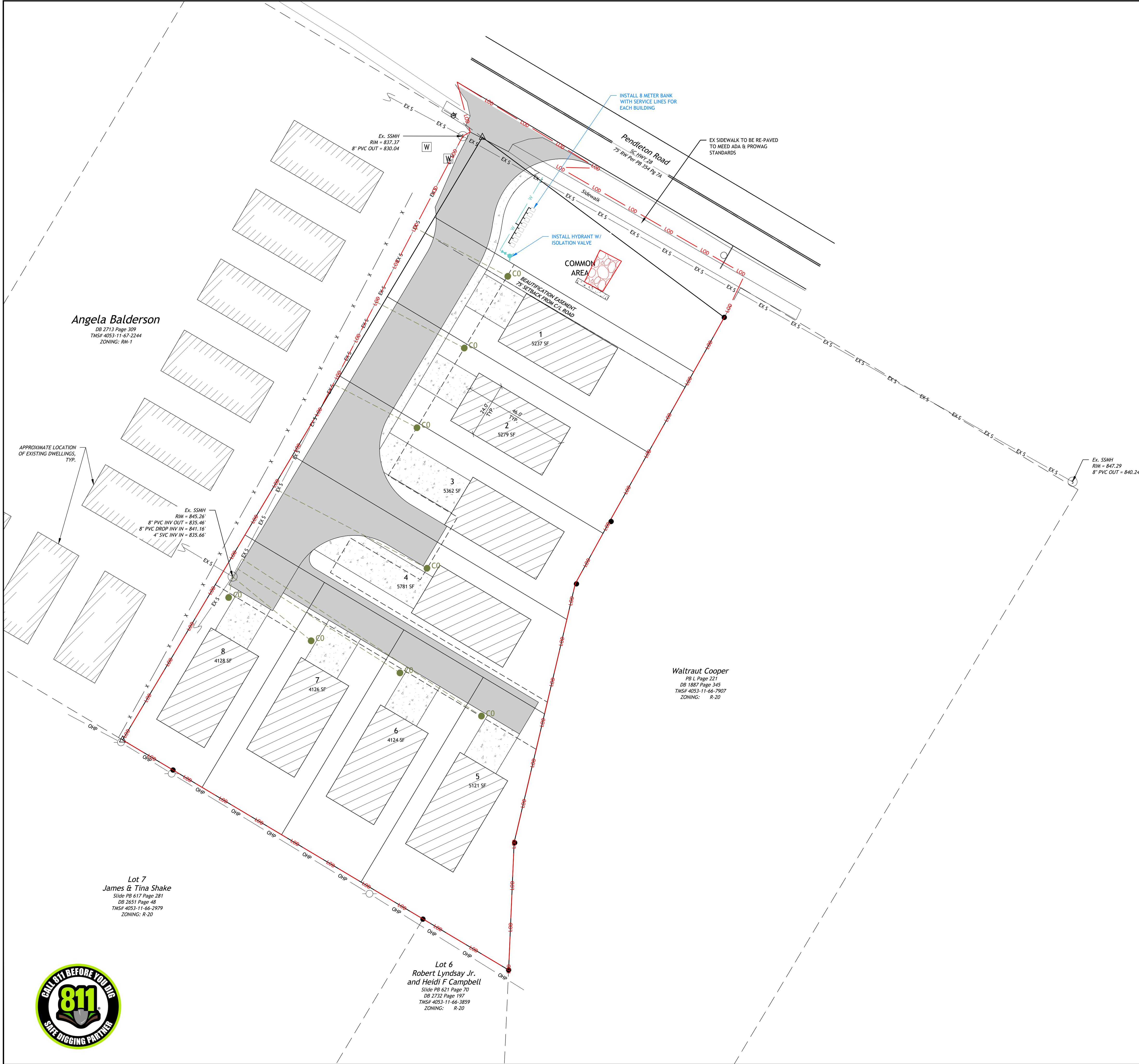
REV #	DATE	COMMENT
0	5-18-26	For Client Review
1	6-18-26	Sketch Plan Review
2	8-21-26	Master Plan Review

SHEET

STORMWATER
POLLUTION
PREVENTION
PLAN

C - 4





WATER NOTES:

1. CP DENOTES COPPER PIPE. CP SHALL BE TYPE "K" SOFT COPPER TO COMPLY WITH ASTM B 88 LATEST EDITION AND INSTALLED WITH WROUGHT COPPER (95.5 TIN ANTIMONY SOLDER JOINT) FITTINGS IN ACCORDANCE WITH ASME B16.22.
2. PVC DENOTES POLYVINYL CHLORIDE PIPE. PVC SHALL COMPLY WITH ASTM D 2241, RATED SDR 21 (CLASS 150). PIPE JOINTS SHALL BE INTEGRALLY MOLDED BELL ASTM D 3139, WITH FACTORY SUPPLIED ELASTOMERIC GASKETS AND LUBRICANT.
3. DIP DENOTES DUCTILE IRON PIPE. DIP SHALL BE CLASS 52 AND SHALL CONFORM TO THE FOLLOWING ANSI/AWWA DESIGNATIONS: C15/A21.50, C151/A21.51, C104/A21.4 AND C111/A21.11.
4. ALL WATER LINES SHALL HAVE A MINIMUM COVER OF 3'-0".
5. WHERE POTABLE WATER LINES AND SANITARY SEWER LINES CROSS WITH LESS THAN 16" OF VERTICAL CLEARANCE OR WHERE THE SEWER LINE IS ABOVE THE WATER LINE, THE SEWER LINE SHALL BE PRESSURE RATED PVC PIPE, MEETING THE AWWA C900-DR18 OR C905-DR18 WITH A MINIMUM VERTICAL CLEARANCE OF 12" SPECIFICATION FOR A MINIMUM LENGTH OF 20', CENTERED ON THE POINT OF CROSSING. A MINIMUM HORIZONTAL SEPARATION OF 10' (EDGE TO EDGE) BETWEEN POTABLE WATER LINES AND SEWER LINES SHALL BE MAINTAINED WHEN AT ALL POSSIBLE. WHEN THE 10' HORIZONTAL SEPARATION CANNOT BE MAINTAINED THE WATER LINE SHALL BE INSTALLED IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF AT LEAST 12" ABOVE THE SEWER LINE. ALTERNATIVELY, THE SEWER LINE SHALL BE ENCLOSED IN A WATER TIGHT CARRIER PIPE, OR PRESSURE RATED PVC PIPE (MEETING AWWA C-900 OF C905 SPECIFICATION) AND PRESSURE TESTED.
6. CONNECT TO EXISTING MUNICIPAL WATER SYSTEM IN COMPLIANCE WITH THE UTILITY REQUIREMENTS FOR NEW SERVICE CONNECTIONS.
7. THRUST BLOCKS SHALL BE USED AT ALL BENDS AND TEES.
8. ALL DOMESTIC WATER LINES SHALL BE DISINFECTED PER AWWA REQUIREMENTS OR STATE REQUIREMENTS, WHICHEVER IS MORE STRINGENT.
9. REFER TO LANDSCAPE IRRIGATION PLAN FOR IRRIGATION REQUIREMENTS.
10. WATER INSTALLATION SHALL CONFORM TO ALL FEDERAL, STATE AND LOCAL REQUIREMENTS.

SEWER NOTES:

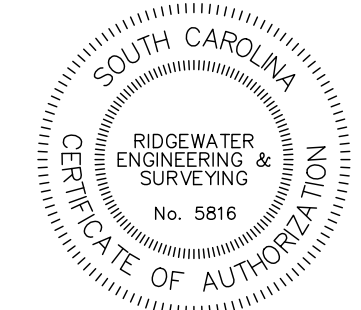
1. PVC DENOTES POLYVINYL CHLORIDE PIPE. REFER TO CITY OF CLEMSON SPECIFICATIONS FOR MATERIAL REQUIREMENTS.
2. ALL PIPES, FITTINGS AND ACCESSORIES SHALL BE INSTALLED IN ACCORDANCE WITH ASTM C 12, ASTM C 14, MANUFACTURER'S PUBLISHED INSTRUCTIONS AND STATE OR LOCAL REQUIREMENTS. JOINTS SHALL BE WATER TIGHT.
3. ALL PIPE SHALL HAVE A MINIMUM COVER OF 3'-0".
4. CONNECT TO EXISTING SANITARY SEWER LATERAL IN COMPLIANCE WITH CITY OF CLEMSON SEWER DISTRICT REQUIREMENTS.
5. SANITARY SEWER CLEAN-OUTS SHALL BE SPACED A MAXIMUM OF 75' O.C. AND AT ALL BENDS GREATER THAN 45'.
6. ALL 90° TURNS SHALL BE ACCOMPLISHED BY 45° ELBOWS.
7. SEWER INSTALLATION AND TESTING SHALL CONFORM TO MUNICIPALITY STANDARDS.

LEGEND

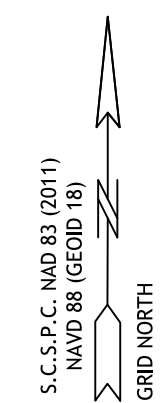
	EXISTING	PROPOSED
WATER LINE REFER TO NOTES	— EX W —	— W —
SEWER LINE (GRAVITY) REFER TO NOTES	— EX S —	— S — S —
SEWER FORCEMAIN REFER TO NOTES	— FM —	— FM —
4 INCH SEWER SERVICE REFER TO DETAIL		— —
SANITARY CLEAN-OUT (SHOWN FOR VISUAL REPRESENTATION ONLY) REFER TO DETAIL FOR PLACEMENT		● CO
ELECTRIC	— OHP —	— P-OHP —
GAS	— G —	— G —
TELEPHONE	— T —	— T —
STORM PIPE REFER TO DETAIL	— — — —	— — — —
ROOF DRAIN REFER TO DETAIL		— RD —
STORM CATCH BASIN REFER TO DETAIL	□	■
STORM JUNCTION BOX REFER TO DETAIL	○	●
SANITARY MANHOLE REFER TO DETAIL	⊙	⊙
SANITARY CLEAN-OUT REFER TO DETAIL	⊙	● CO
FIRE HYDRANT REFER TO DETAIL	⊙	⊙
UTILITY POLE	⊙	⊙
WATER VALVE	⊙	⊙
WATER METER (SHOWN FOR VISUAL REPRESENTATION ONLY) REFER TO DETAIL FOR PLACEMENT	⊙	⊙



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20 0 10 20
SCALE: 1 in = 20 ft.

237 PENDLETON

CITY OF CLEMSON
SOUTH CAROLINA

DRAWN BY: JWW

CHECKED: JWW

JOB NUMBER: 26126

REV #	DATE	COMMENT
0	5-18-26	For Client Review
1	6-18-26	Sketch Plan Review
2	8-21-26	Master Plan Review

SHEET

WATER &
SEWER PLAN

U - 1



Lot 7
James & Tina Shake
Slide PB 617 Page 281
DB 2651 Page 48
TNSP 4053-11-66-2979
ZONING: R-20

Lot 6
Robert Lyndsay Jr.
and Heidi F Campbell
Slide PB 621 Page 70
DB 2732 Page 197
TNSP 4053-11-66-3859
ZONING: R-20

Waltraut Cooper
PB L Page 221
DB 1887 Page 345
TNSP 4053-11-66-7907
ZONING: R-20

Angela Balderson
DB 2713 Page 309
TNSP 4053-11-67-2244
ZONING: RM-1

Report on Proposed Map Amendment/Rezoning (835 Old Greenville Highway)

Planning Commission Meeting
September 14, 2026

OVERVIEW

An application for a proposed map amendment (rezoning) was submitted by Rayn R. Whitrock, agent for the property owner (Meera Hotels, LLC), on August 14, 2026. The subject property, which is occupied by an operating motel (Clemson Motel), is a 1.327 acre parcel situated west side of Old Greenville Highway (Highway 93). It should be noted that the parcel is the last property inside the City of Clemson on the western Highway 93 frontage, with the Town of Central abutting. If approved as requested, the parcel, which is currently zoned R-20 Single-family Residential District, will be rezoned CP-2 Community Business District.

SUBJECT PROPERTY

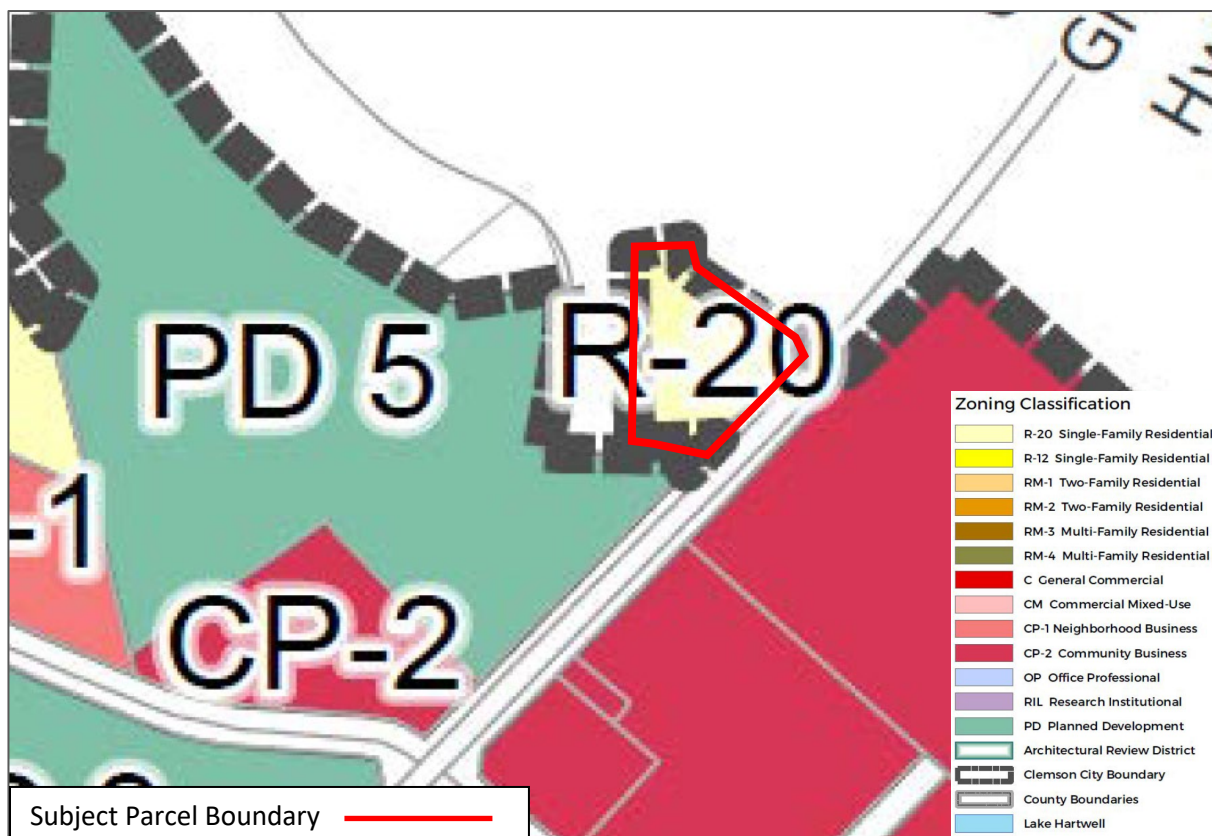
The parcel (TMS #4054-08-98-8760) is currently occupied by a 5,100 sq.ft. single-story motel, which according to tax records was constructed in 1946. It is located across Old Greenville Highway from the Ingles Supermarket, and abuts rental housing properties, and a small storage warehouse.



ZONING

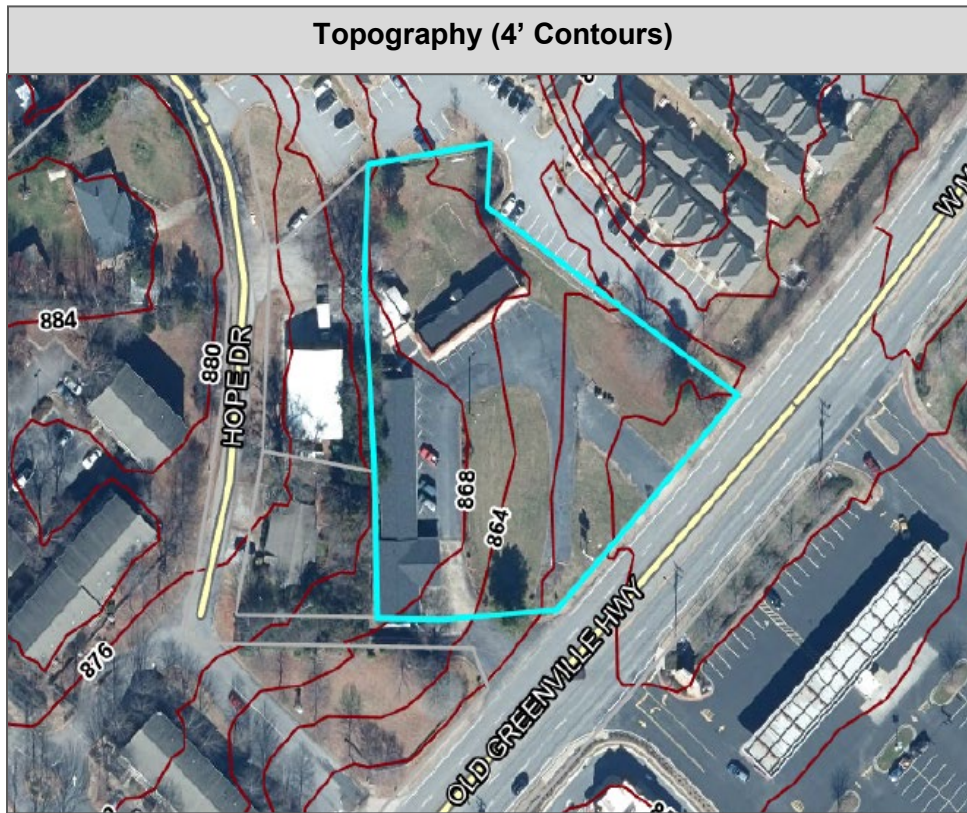
The subject property was annexed into the City in the 1980's, and is zoned R-20 Single-family Residential District. According to City zoning standards, the R-20 District is "intended for individual dwellings on a relatively large lots in areas where low density is appropriate because of neighborhood living patterns and the character of the natural environment". Although a motel is inconsistent with the zoning, because the use pre-dated annexation it is allowed to continue as a legal non-conformity until such time as it ceases to function. As to the impact of an approval of the proposed rezoning on the use, hotels and motels are permitted by right under the CP-2 District, which is a district meant "to provide for areas within the community where commercial and business development may occur...." There are, however, conditional use standards governing the location of parking areas that would, should they be triggered by future expansion or other activities, require compliance.

Perhaps one of the more unusual aspects of the property is that it directly abuts only one other property governed by City zoning rules. The Woodlands of Clemson, a planned development (PD#5), is situated so that it 'touches' the parcel on its southern border. That said, there are also CP-2 Community Business District properties located across Old Greenville Highway that, although separated by a road right-of-way, are considered contiguous; because roads are not considered to be impediments to contiguity in zoning, the parcel, which due to its size must connect with an existing zoning district, is eligible for the proposed CP-2 rezoning. All other abutting properties are located either in the Town of Central or unincorporated Pickens County. See map below:



EXISTING CONDITIONS

As indicated by the topographic contours in the image below, the property rises from the road right-of-way toward the rear.



Because the property is located at the edge of the City, it is subject to development impacts stemming from the rules of different jurisdictions. The image below shows the subject property (shaded blue) in relation to the location of the City boundary (red line); areas inside the City are shaded light green.



Neighboring development types vary significantly. The property to the north along Old Greenville Highway is occupied by Tiger Station, a student-oriented cottage style development located in the Town of Central. Immediately behind the motel on abutting properties accessed by Hope Drive are a duplex and small storage warehouse, both of which are situated on parcels neither in the City of Clemson or Town of Central, but in unincorporated Pickens County. Finally, to the south on the opposite side of Old Greenville Highway is the Ingles Supermarket and Fuel development.

The following images illustrate current conditions on the parcel.

Looking West from Approximate Center of Hwy93 Road Frontage



Looking Southwest from Northern Entrance



Looking Northwest from Southern Entrance

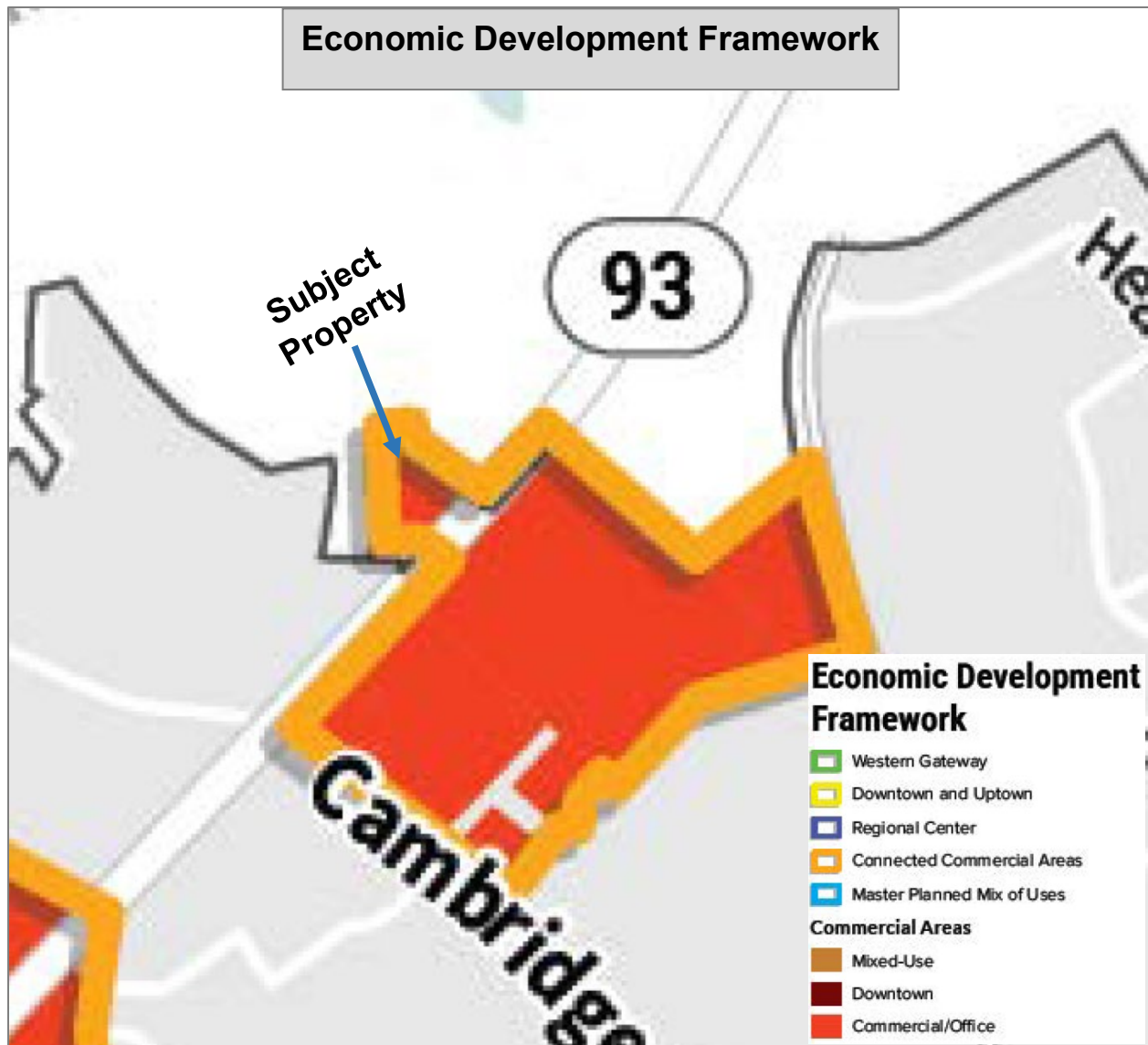


COMPREHENSIVE PLAN

The Future Land Use Map (FLUM) in the Comprehensive Plan shows the property recommended for commercial and/or office uses. It should be noted that the FLUM is not a parcel-based regulatory map like the Official Zoning Map, but is instead a map intended to indicate the recommended primary future use for the area. Also, the use categories shown on the map, while they may in some instances looking similar to existing zoning districts, are not intended to identify any parcel for rezoning to a particular district.



In addition to the information provided by the FLUM, the Comprehensive Plan includes significant discussion of Connected Commercial Areas. The plan states that the revitalization of such areas should “focus on creating better-connected spaces with a mix of retail, restaurants, personal services, and entertainment”. The map section below, which is taken from the Economic Development Framework in the Economic Development Element of the Plan, shows that the portion of Hwy 93 that includes the subject property is considered to be a critical part of the City’s future commercial activity.



Other Comprehensive Plan references to the Hwy 93/Old Greenville Highway corridor include:

*The Goals and Key Recommendations of the Economic Development Chapter calls for reinforcing “existing commercial corridors, including Downtown, U.S. Route 123, and Highway 93.”

*Action 6.23 of the Action Matrix in the Priority Investment and Implementation Chapter: “Prioritize U.S. Route 123, U.S. Route 76, and State Route 93 as the community’s major commercial corridors, promoting a variety of retail, restaurant, entertainment, and service areas.”

*Action 6.23 of the Action Matrix in the Priority Investment and Implementation Chapter: “Identify infill opportunities along State Route 93 for new commercial, office or mixed-use developments.”

IMPACT ON SERVICES

Due to the fact that no redevelopment project is associated with the current proposal to rezone the property, no impacts on service delivery have been identified. Any future proposed development activity will be reviewed and appropriately addressed by staff according to City standards.

Review Status

The Planning Commission is scheduled to take up the proposed rezoning at their regular meeting on September 14, 2026.



CITY OF
Clemson
PLANNING &
DEVELOPMENT

1250 Tiger Blvd, Suite 4 • Clemson, SC 29631-2662
(864) 683-2000
Fax (864) 683-2067
www.cityofclemson.org

PC

**PLANNING COMMISSION
ZONING AMENDMENT APPLICATION**

Please complete in ink and return to the Planning and Codes Administration Department with required attachments, information, and filing fee. Zoning Map Amendment (Rezoning) applications require a filing fee of \$250, a current survey of the property, a copy of the deed, and a designation of agent if owner is not the applicant. Both sides of this application must be completed; incomplete applications will not be accepted.

- An amendment to the zoning ordinance text or the zoning map may be initiated by the city council, the planning commission, or the board of zoning appeals.
- An amendment to the zoning map for changing a zoning district designation of property may be initiated by the owner of the property affected or by an agent authorized by the owner in writing.

File no.: R - PIN: 4 0 5 4 - 0 8 - 9 8 - 8 7 6 0 Date submitted: 8/14/26 Planning Commission meeting date: 09/14/2026
Amendment type: ☒ Map amendment (Rezoning) ☐ Text amendment
Initiated by: ☒ Owner/Agent ☐ City Council ☐ Planning Commission ☐ Board of Zoning Appeals

OWNER(S) INFORMATION

Last name: Shah First: Neeti Middle: V Interest: ☒ Sole owner ☐ Co-owner
Mailing address: 104 Churchill Downs City: Greenville State: SC ZIP Code: 29615
Daytime phone no.: (864) 923-5213 Fax no.: () N/A E-mail: shetal27@gmail.com

APPLICANT INFORMATION

To be completed only if Owner is not Applicant:

Applicant's last name: Wittrock First: Rayn Middle: Riley
Mailing address: 107-3A Sloan Street City: Clemson State: SC ZIP Code: 29631
Daytime phone no.: (864) 247-8241 Fax no.: () N/A E-mail: rayn@ericknewton.com

PROPERTY INFORMATION

THE OWNER/APPLICANT HEREBY REQUESTS that the property described below be rezoned from R-20 to CP-2
Property address: 835 Old Greenville Hwy, Clemson, SC 29631 Property dimensions: 270' x 312' Property area: 1.327 Acres

DESIGNATION OF AGENT

To be completed by Owner(s) only if Owner is not Applicant. All owners must sign.

I (we) hereby appoint the person named as Applicant as my (our) agent to represent me (us) in this request for a zoning map amendment.

Neeti Shah
Owner name

Neeti Shah
Owner signature

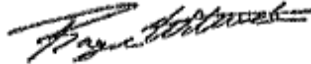
8-12-26
Date

To be completed by Applicant:

I certify that the information in this request is correct.

Report on Proposed Map Amendment/Rezoning (835 Old Greenville Highway)
Planning Commission Meeting – September 14, 2026

Rayn Willrock
Applicant name
Rev. 12-09-05, 06-15-07


Applicant signature

08/11/2026
Date

REQUIRED INFORMATION

REASONS FOR ZONING AMENDMENT REQUEST: I (we) request the rezoning for the following reasons:

The subject property is currently zoned R-20 Single-Family Residential; however, this zoning designation no longer reflects the property's historical use, location, surrounding development pattern, or the City of Clemson's adopted plan for the area.

The property has operated as a motel since approximately 1946 and has functioned as a commercial property for nearly 80 years. During that time, the Old Greenville Highway corridor has continued to develop with a mixture of commercial, planned development, and multifamily uses. The property has remained zoned R-20 despite its longstanding commercial use.

The current R-20 zoning is intended primarily for single-family homes on large lots in low-density areas. This does not fit the existing character of the property, which fronts Old Greenville Highway/State Route 93 and has historically been developed and operated for commercial purposes.

Most importantly, the City of Clemson 2045 Comprehensive Plan identifies the subject property as Commercial/Office on the Future Land Use Map. The Comprehensive Plan states that Future Land Use designations should serve as a basis for future zoning amendments. The requested rezoning would therefore bring the property's zoning into closer alignment with the City's adopted future land-use plan.

The Comprehensive Plan also recognizes State Route 93 as one of Clemson's important commercial corridors. The Plan notes that Highway 123 and State Route 93 contain some of the City's highest concentrations of commercial uses and encourages Commercial/Office uses in appropriate locations to strengthen these corridors and provide services and amenities to the community.

The Economic Development chapter further identifies State Route 93 as a key commercial corridor and supports continued commercial and office development along the corridor in accordance with the Future Land Use Plan.

For these reasons, we are requesting that the property be rezoned from R-20 Single-Family Residential to CP-2 Community Business. The proposed zoning would better reflect the property's longstanding commercial use, its location along a major commercial corridor, the surrounding development pattern, and the Commercial/Office designation shown in the City of Clemson 2045 Comprehensive Plan.

We believe the requested change is a reasonable update to the property's zoning and is consistent with the City's long-term plan for this area.

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