

1. Remote Participation And Viewing

Public Comments can be made in two ways:

1. In person during the appropriate point(s) of the meeting
2. [VIA THE MYCIVIC APP](#) up to noon the Friday prior to the meeting.

Public Meetings are livestreamed and recordings are archived on the [CITY OF CLEMSON YOUTUBE PAGE](#).

Disclaimer: The City of Clemson will continue to provide multiple ways to view and participate in our public meetings. Note that technology is not perfect and on rare occasions could fail before, during, or after a meeting. If this happens you should be able to watch the local recorded meeting on YouTube at a later date or review the minutes of the meeting when they are available.

2. Agenda

Documents:

[01-13-26_PC_MEETING_AGENDA.PDF](#)

3. Meeting Materials

Documents:

[2025_12_08_PC_MINUTES_FINAL_DRAFT.PDF](#)
[PUD-000506-2025 PROPOSED PLANNED DEVELOPMENT \(1310 TIGER BLVD\)
- UPDATED CONCEPT.PDF](#)
[DRAFT NEIGHBORHOOD CONSERVATION OVERLAY AND RESIDENTIAL
ARCHITECTURAL STYLES - DISCUSSION.PDF](#)
[DRAFT MIXED USE-HIGH DENSITY DEVELOPMENTS - DISCUSSION.PDF](#)
[DRAFT MIDDLE HOUSING STANDARDS - DISCUSSION.PDF](#)
[DRAFT ROOF TOP CANOPY STANDARDS DISCUSSION.PDF](#)



CITY OF
Clemson
PLANNING &
DEVELOPMENT

AGENDA

City of Clemson Planning Commission Meeting

6:00 p.m., Tuesday, January 13, 2026

1250 Tiger Blvd., Suite 2

City Hall – Council Chambers

The public may attend City of Clemson meetings in person at this time.

You can also view these meetings on the City of Clemson's YouTube channel within 2 business days.

How to Submit Public Comments

1. In person during appropriate portions of meetings
2. In writing submitted to staff or on the City's MyCivic web platform *no later than noon on the Friday before the meeting.*

1. Call to Order

2. Public Session

3. Adoption of Minutes

- a. December 8, 2025 – Regular Meeting

4. Planned Development Concept Presentation Workshop

- a. PUD-000506-2025 Proposed Planned Development (1310 Tiger Blvd)
(Applicant will present proposed changes to November 2025 concept)

5. Action Items

6. Advisory Items

7. Discussion Items

(Note: The Commission reserves the right to discuss related items collectively)

- a. Draft Neighborhood Conservation Overlay
- b. Draft Mixed-Use High-Density Developments
- c. Draft Middle Housing Standards
- d. Draft Roof-top Canopy Standards

8. Staff Reports

9. Other Items

- a. Planning Commission Representation at Council Meetings
- b. Future Workshops and Other Events

10. Adjourn

PLANNING COMMISSION MEETING
Monday, December 08, 2025
6:00 p.m.

MINUTES

The City of Clemson Planning Commission met in open session in the Council Chambers in City Hall, 1250 Tiger Boulevard, Clemson, SC.

Members present: Herb Tyler (Chair), Greg Rice (Vice-Chair), Tanya Hyatt, Bryan Yoder, John Crolley

Members absent: Benji Cumbie

Staff present: Nathan Woods, Assistant City Administrator and Planning & Development Director; Art Holbrooks, City Planner; Jacob Peabody, Zoning & Codes Administrator, Kelly Roach, Recording Secretary.

The meeting was livestreamed and recorded on YouTube.

1. Call to Order:

Mr. Tyler called the meeting to order at 6:00 p.m., and then introduced the Commission members and staff present.

2. Public Session (3:22) Mr. Tyler opened the public session and called for comments related to items not on the agenda; no one choose to speak. He also noted that there had been no written comments received for items not on the agenda, then closed the public session.

3. Adoption of Minutes (5:36)

a. November 10, 2025 – Regular Meeting

Mr. Tyler called for proposed edits to the draft minutes; there were none. Mr. Tyler called for a motion. Mr. Rice made a motion to approve the Monday, November 10, 2025 minutes as presented; Ms. Hyatt seconded the motion. Mr. Tyler called for discussion; there was none. Mr. Tyler called for a voice vote; there was no opposition; The motion was unanimously approved by a 5 - 0 vote.

4. Major Subdivision Sketch Plan Review (6:21)

a. MSUB-000518-2025 Proposed Major Subdivision (Rock Creek Road)

Mr. Tyler called for any updates or reports from staff. Mr. Holbrooks provided a brief overview of the Commission's role in the subdivision development review process, noting that the sketch plan review was the first of three reviews. Mr. Tyler then recognized Mr. Peabody to provide more detailed background information on the specific item.

Mr. Peabody explained that the proposed project was a continuation of the Rock Creek Village conservation subdivision project begun in 2003, explaining that only half of the approved homes had been developed before it stalled. The property owner later combined the remaining lots before deciding to return to the original concept in 2023, when the project was again given approval as a special exception by the Board of Zoning Appeals (BZA).

Mr. Tyler then called the developer to come forward to present.

Mr. David Jones, applicant and agent for the property owner, stated that he had taken the role of the project's developer when it went before the BZA in 2023, and said that the property owner's intent was to complete the project. He also noted that the current plan would be smaller than originally planned, and said that the detention pond was nearing completion. (See Attachment #1)

Discussion followed. Among the topics addressed were:

- The proposed walking trails and accessibility by the public
- Status of the HOA
- Alley ways and cul-da-sacs
- A portion of Lot #1 to be given to the adjoining property owner
- The anticipated price and average square footage of the new homes
- The topography of the development
- Installation of privacy fencing to screen new development from adjoining neighborhood
- Set-backs

Following the conclusion of discussion, Mr. Tyler called for comments by audience members.

Mr. Hap Wheeler, 201 Augusta Road, Clemson, stated that it was previously agreed that all trees with a caliper of 6-inches or greater would remain, and that all the wooded area behind the lots would remain as a buffer. He also requested that all invasive plants be removed.

Mr. Scott Brame, 207 Augusta Road, Clemson, asked about the conservation subdivision rules, and expressed concerns over the possibility of the lots being clear-cut. He also said he worried about the existing retention pond not being large enough for the future build out, and questioned the proposed wetland survey.

Mr. William Brown, 311 Rock Creek Road, Clemson, noted the location's history of flooding; Mr. Woods stated that if approved the project would be required to account for stormwater issues.

Mr. Hap Wheeler, 201 Augusta Road, Clemson, stated concerns about standing water in the stormwater pond.

Mr. Scott Brame, 207 Augusta Road, Clemson also expressed his concerns with the drainage of the retention pond.

Mr. Tyler called for any further public comments; there were none. He then stated that storm water management was a major concern in the review of projects.

5. Action Items (45:56) – None

6. Advisory Items (45:57) – None

7. Discussion Items (46:03)

a. Neighborhood Conversation Overlay

Mr. Woods briefed the Commission on a proposed amendment of the zoning standards that would create a new overlay he titled the Neighborhood Conversation Overlay. If approved and implemented, it would set standards in the residential neighborhoods near College Avenue intended to help maintain the character and limit changes from future development. As proposed, a major feature of the proposal would be to impose architectural standards on new construction in the neighborhoods. Mr. Woods stated he wanted the Commission’s input on whether the proposed changes went too far. (See attachment #2)

Discussion followed. Among the topics addressed were:

- Legal aspects of the proposed overlay
- Design standards
- Differences between an overlay and a HOA
- Added expenses on property owners associated with the proposed overlay
- How the overlay would fit with the anticipated rewrite of the zoning code

Mr. Woods concluded with a request that comments and suggestions be emailed to staff.

8. Staff Reports (1:48:22)

Mr. Holbrooks informed the Commission that the public hearing on the draft comprehensive plan originally scheduled for December 1, 2025 had been rescheduled due to the impacts of bad weather on the consultant’s travel. It had been readvertised for January 12, 2026 at 5:30 pm.

9. Other Items (1:49:38)

- a. Planning Commission Representation at Council Meeting - None
- b. Future Workshops and Other Events - None

10. Adjourn (1:49:48)

Mr. Tyler called for a motion to adjourn. Mr. Rice made a motion to adjourn; Ms. Hyatt seconded the motion. Mr. Tyler called for a vote by a show of hands; there was no opposition. The motion was unanimously approved by a 5 – 0 vote.

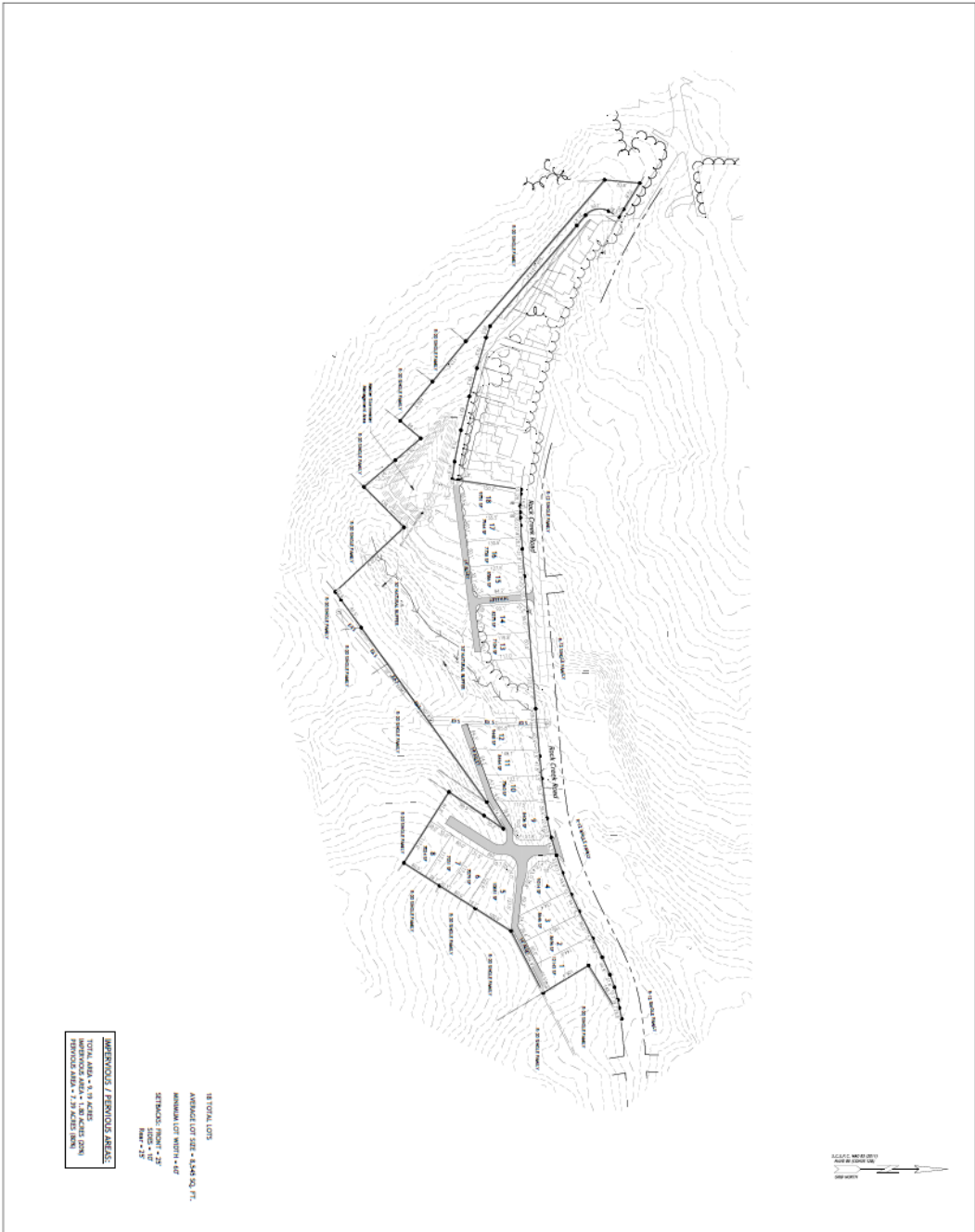
The meeting was adjourned at 7:49 p.m.

Respectfully submitted,

Kelly Roach, Recording Secretary

These minutes are in draft format and subject to change until approval by the City of Clemson Planning Commission.

DRAFT



18 TOTAL LOTS
 ANCHORED LOT SIZE = 8,348 SQ. FT.
 ANCHORED LOT WIDTH = 42'
 SETBACKS: FRONT = 25'
 REAR = 25'
 SIDE = 10'

INTERIORS / EXTERIORS AREAS
 TOTAL AREA = 9.19 ACRES
 INTERIORS AREA = 1.80 ACRES (CON)
 EXTERIORS AREA = 7.39 ACRES (CON)



SKETCH PLAN

OWNER'S CERTIFICATION

I, the undersigned, being the owner of the above described property, do hereby certify that the above described sketch plan is a true and correct representation of the same, and that the same is in accordance with the requirements of the applicable laws, ordinances, rules and regulations of the City of Chicago.

Date: 11/17/2024
 Owner: [Signature]
 Title: [Signature]

DESIGN PROFESSIONAL CERTIFICATION

I, the undersigned, being a duly licensed professional engineer in the State of Illinois, do hereby certify that the above described sketch plan is a true and correct representation of the same, and that the same is in accordance with the requirements of the applicable laws, ordinances, rules and regulations of the City of Chicago.

By Name: [Signature]
 Registered Professional No.: 238277
 Address: 2111 S. ROCKY MOUNTAIN AVENUE, SUITE 200, CHICAGO, IL 60616
 Date: 11/17/2024

CERTIFICATE OF PROJECT APPROVAL

I, the undersigned, being the duly authorized representative of the City of Chicago, do hereby certify that the above described sketch plan is in accordance with the requirements of the applicable laws, ordinances, rules and regulations of the City of Chicago.

Name of Submitter: [Signature]
 Title: [Signature]

TRAC # 2023-07-168-3764

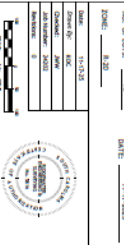
ROCK CREEK CONSERVATION DEVELOPMENT

1815 S. Rockwood, LLC
 1815 S. Rockwood, LLC
 Chicago, IL 60616

CONTRACTOR: [Signature]
 ARCHITECT: [Signature]

NO. OF ACRES: 9.19
 NO. OF LOTS: 18
 DATE: 11-17-2024

ZONE: R-30
 SCALE: 1" = 40'



RIDGEWATER
 ENGINEERING & SURVEYING
 7700 N. Ashland Ave. Suite 100
 Chicago, IL 60649
 Tel: 773.334.1111
 Fax: 773.334.1112
 www.ridgewatereng.com

Attachment #2

Nathan Woods' Presentation Notes and Slides

Coldwater Springs and Sloan-Poe Neighborhood Conservation Overlay (NC-1)

The purpose of the Neighborhood Conservation Overlay (NC-1) for the Coldwater Springs and Sloane-Poe Neighborhoods is to maintain the setting of the area, minimizing changes to the neighborhood, and its remaining architectural convention. Adjacent to both the College Avenue and Hwy 93 commercial districts, the two neighborhoods warrant additional cover from development. These commercial corridors are the center for growth in Clemson, and will continue to feel pressure as our town realizes the growth of the region.

Guidelines Governing New Construction (additions to existing buildings and new buildings).

1. All new homes AND major additions require the approval of the Board of Architectural Review
2. Exterior alterations to the rear of a property, not visible from the street, although they may require a building permit, will not require approval from the Board of Architectural Review
3. Interior alterations, wiring, plumbing, painting, although they may require a building permit, will not require approval from the Board of Architectural Review
4. All new homes are subject to the City's Site Management Plan during construction
5. Carports and garage doors should not face the street except in cases where there is no reasonable alternative. If they do face the street, garage entrances should be designed to be consistent with the home's architectural features.
6. The design of detached garages and carports and the materials of which they are constructed should be consistent with the character of the main structure.
7. Houses built on corner lots should include in the design of their side facades elements that reinforce a consistent design theme for each of the streets where they will be visible
8. Properties within the district are limited to one Accessory Dwelling Unit per lot, the materials to be used should be appropriate for the style of the main residence, and are subject to approval of the Board of Architectural Review

Site Standards

1. Planned Development proposals *are not* allowed for properties located within the NC-1 Overlay Districts
2. All new lot subdivisions must result in lots that meet the district minimum 20,000 square feet
3. The Minimum frontage for a new lot shall be no less than the average of the 2 adjacent lots on either side of the new lots. New lots are defined as lots that are created by subdivision after the adoption of the NC-1 Neighborhood Conservation Overlay.
4. New houses on vacant lots within already existing built-up areas shall be set back within 5 feet of the average set back of contributing buildings on the block. The average set back shall be determined by the distance contributing structures are away from the center line of the street at the time the overlay district is created. The main portion of structures (not wings or bays) shall be the basis of the measurements. A new building should reinforce the horizontal and vertical connection between contributing houses on the street.
5. If other buildings do not exist on adjacent lots, the new construction must respect the provisions of the Clemson Zoning Ordinance in effect at the time of designation.
6. New lots created by subdivision will avoid irregular shapes with side lot lines being perpendicular to the road.
7. All construction plans shall assess and take into account the impact of drainage on both the subject property and neighboring properties.
8. All new development or major modifications to existing development will require the construction of sidewalks and any streetscape prescribed
9. Because the streets of the neighborhood are routinely used by residents for recreational and community purposes, on-street parking should be avoided. In planning all construction, parking commensurate with potential occupancy needs to be considered, so that it is sized adequately for the number of occupants anticipated for residency of the house
10. All new homes are required to adhere to landscaping standards found in the Architectural District Standards table 19-1110.
11. Site plans for new construction must map mature trees and describe the measures that will be to conserve them, minimizing the loss of mature trees.
12. New buildings and additions shall be designed to set into the landscape with a minimum of reshaping to the topography and loss of mature trees
13. New construction should provide for large, native trees that will reach at least 50 feet in height at maturity. At least two trees of this type should be placed in each of the front and rear yards; existing trees may be included in this amount
14. At least two ornamental trees such as a dogwood or redbud should be shown in the front and rear yards of each building being submitted for approval for new construction



Neighborhood Conservation Overlay NC-1



PURPOSE

The purpose of the Neighborhood Conservation Overlay (NC-1) for the Coldwater Springs and Sloane-Poe Neighborhoods is to maintain the setting of the area, minimizing changes to the neighborhood, and its remaining architectural convention.



WHY

Adjacent to both the College Avenue and Highway 93 commercial districts, the two neighborhoods warrant additional cover from development. Clemson's mixed-use commercial corridors are its center for growth, and will continue to be pressured as our town realizes the growth of the region.



GUIDELINES GOVERNING NEW CONSTRUCTION

1. All new homes AND major additions require the approval of the Board of Architectural Review (BAR).
2. Exterior alterations to the rear of a property, not visible from the street, although they may require a building permit, will not require approval from the Board of Architectural Review.



GUIDELINES GOVERNING NEW CONSTRUCTION

3. Interior alterations, wiring, plumbing, painting, etc., although they may require a building permit, will not require approval from the BAR.
4. All new homes are subject to the City's Site Management Plan during construction.

GUIDELINES GOVERNING NEW CONSTRUCTION



5. Carports and garage doors should not face the street except in cases where there is no reasonable alternative. If they do face the street, garage entrances should be designed to be consistent with the home's architectural features.

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GUIDELINES GOVERNING NEW CONSTRUCTION



7. Houses built on corner lots should include in the design of their side facades elements that reinforce a consistent design theme for each of the streets where they will be visible.

8. Properties within the district are limited to one Accessory Dwelling Unit per lot; the materials to be used should be appropriate for the style of the main residence, and are subject to approval of the Board of Architectural Review.

SITE STANDARDS



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SITE STANDARDS



4. New houses on vacant lots within already existing building areas shall be set back within 5 feet of the average lot back of contributing buildings on the block. The average set back shall be determined by the distance contributing structures are away from the center line of the street at the time the overlay district is created. The main portion of structures (not wings or bays) shall be the basis of the measurement. A new building should reinforce the horizontal and vertical connection between contributing houses on the street.

5. If other buildings do not exist on adjacent lots, the new construction must respect the provisions of the Columbus Zoning Ordinance in effect at the time of designation.

6. New lots created by subdivision will avoid irregular shapes with side lot lines being perpendicular to the road.

SITE STANDARDS



7. All construction plans shall assess and take into account the impact of drainage on both the subject property and neighboring properties.

8. All new development or major modifications to existing development will require the construction of sidewalks and any streetscape prescribed, and/or payment fee in lieu.

9. Because the streets of the neighborhood are routinely used by residents for recreational and community purposes, on-street parking should be avoided. In planning all construction, parking commensurate with potential occupancy needs to be considered, so that it is sized adequately for the number of occupants anticipated for residency of the house.

SITE STANDARDS



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12. New buildings and additions shall be designed to set into the landscape with a minimum of reshaping to the topography and loss of mature trees.

SITE STANDARDS



13. New construction should provide for large, native trees that will reach at least 50 feet in height, at maturity. At least two trees of this type should be placed in each of the front and rear yards; existing trees may be included in this amount.

14. At least two ornamental trees such as a dogwood or redbud should be shown in the front and rear yards of each building being submitted for approval for new construction.





Planning Commission Workshop

1310 Tiger Blvd.

Clemson, SC

Project Team Introduction

KENNEDY WILSON

Owner/Developer:
Kennedy Wilson



Architect:
Dwell Design Studio

Revel

Retail Real Estate Consultant:
Revel



Landscape Architect:
Ironwood Design Group



Civil Engineering:
Seamon Whiteside

01 Site Maps
02 Concept Site Plan + Renderings
03 Concept Floor Plans

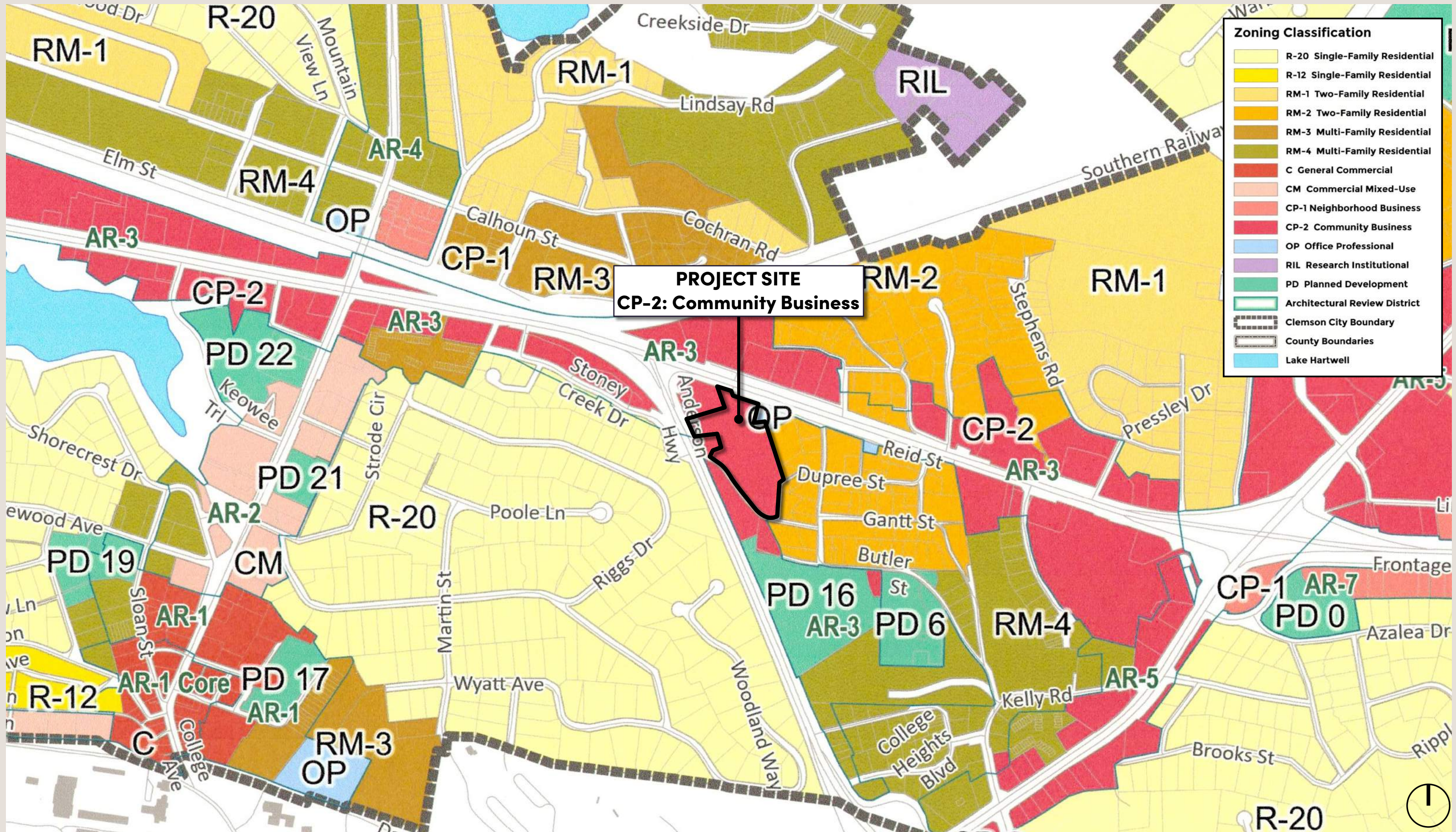
Clemson Context Map



Clemson Context Map



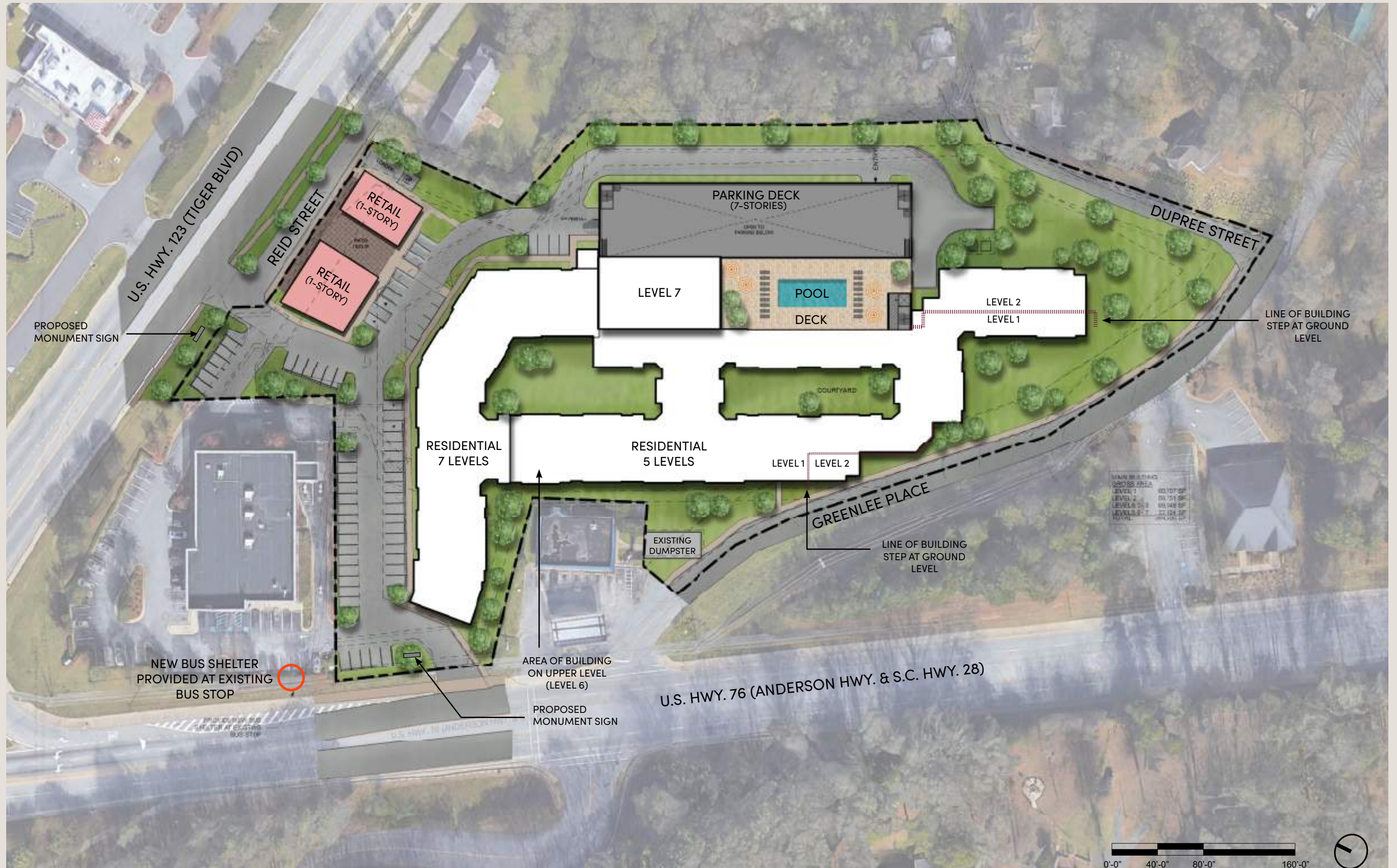
Existing Zoning Map



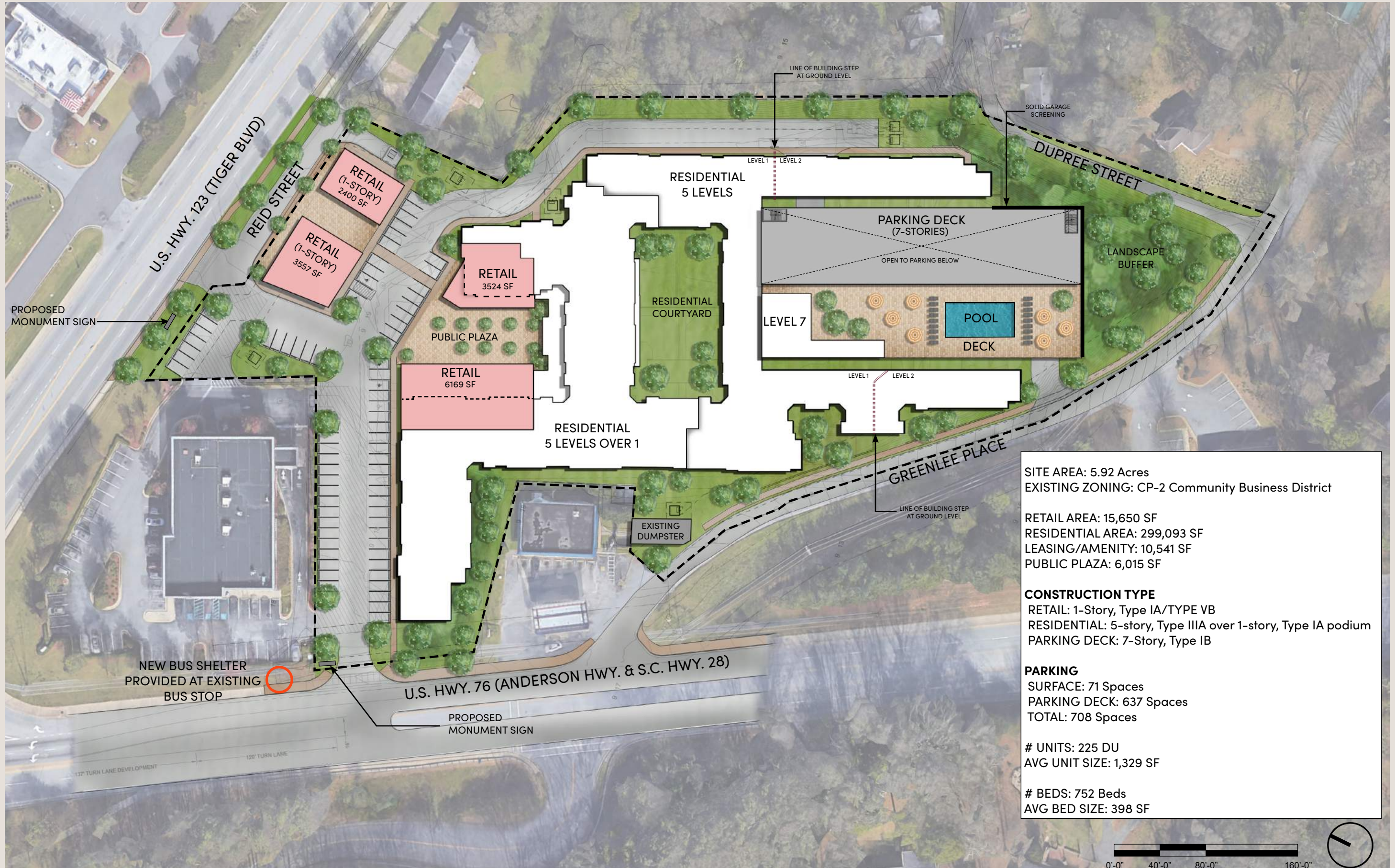
Existing Conditions



Previous - Concept Site Plan

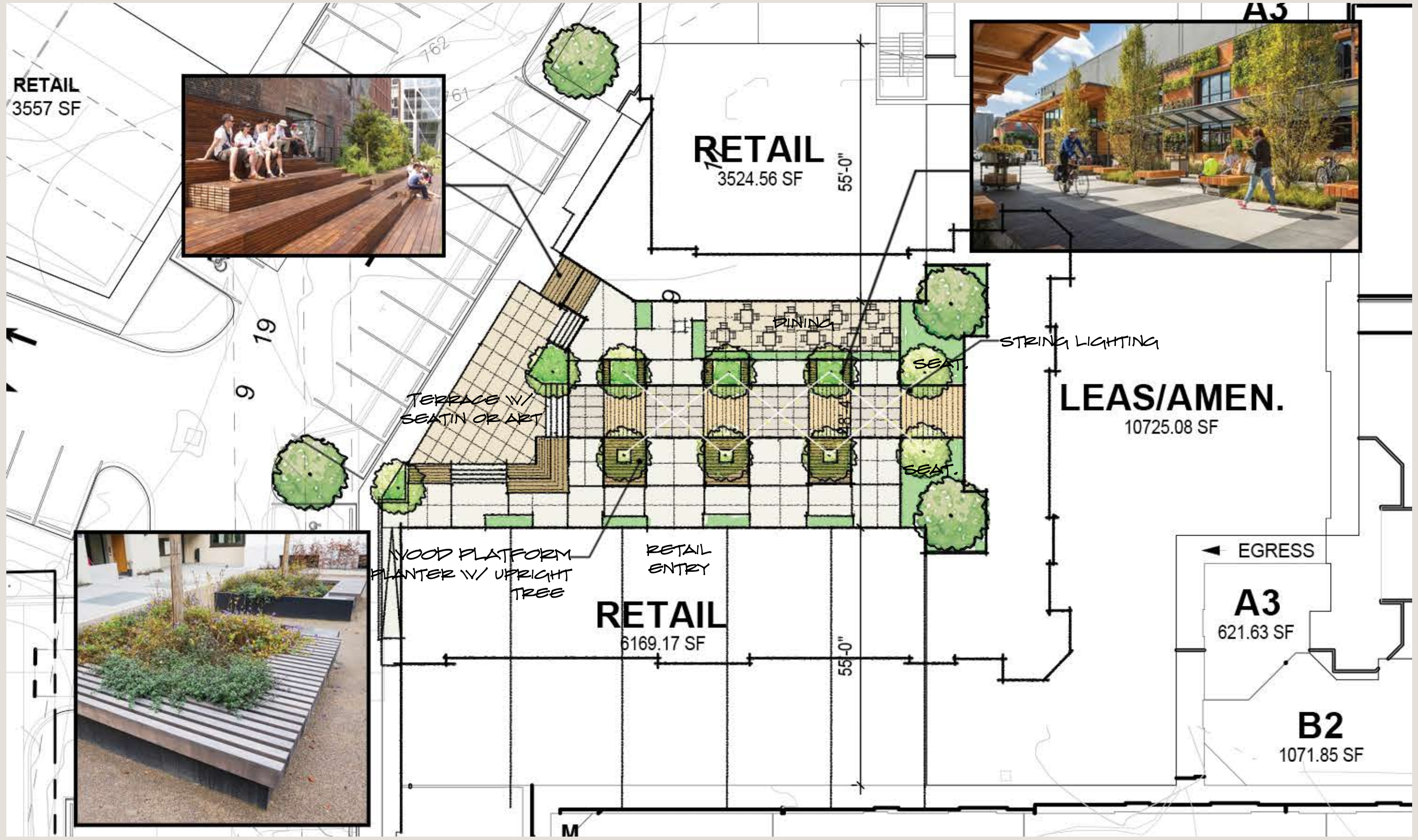


Current - Concept Site Plan



| |
|--|
| SITE AREA: 5.92 Acres |
| EXISTING ZONING: CP-2 Community Business District |
| RETAIL AREA: 15,650 SF |
| RESIDENTIAL AREA: 299,093 SF |
| LEASING/AMENITY: 10,541 SF |
| PUBLIC PLAZA: 6,015 SF |
| CONSTRUCTION TYPE |
| RETAIL: 1-Story, Type IA/TYPE VB |
| RESIDENTIAL: 5-story, Type IIIA over 1-story, Type IA podium |
| PARKING DECK: 7-Story, Type IB |
| PARKING |
| SURFACE: 71 Spaces |
| PARKING DECK: 637 Spaces |
| TOTAL: 708 Spaces |
| # UNITS: 225 DU |
| AVG UNIT SIZE: 1,329 SF |
| # BEDS: 752 Beds |
| AVG BED SIZE: 398 SF |

Conceptual Public Plaza Plan





Project Entry View from Tiger Blvd. facing South



View of Retail/ Lobby Plaza facing Guest Parking



View from within Retail/ Lobby Plaza



Overhead View of Retail/ Lobby Plaza

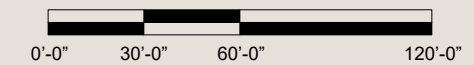
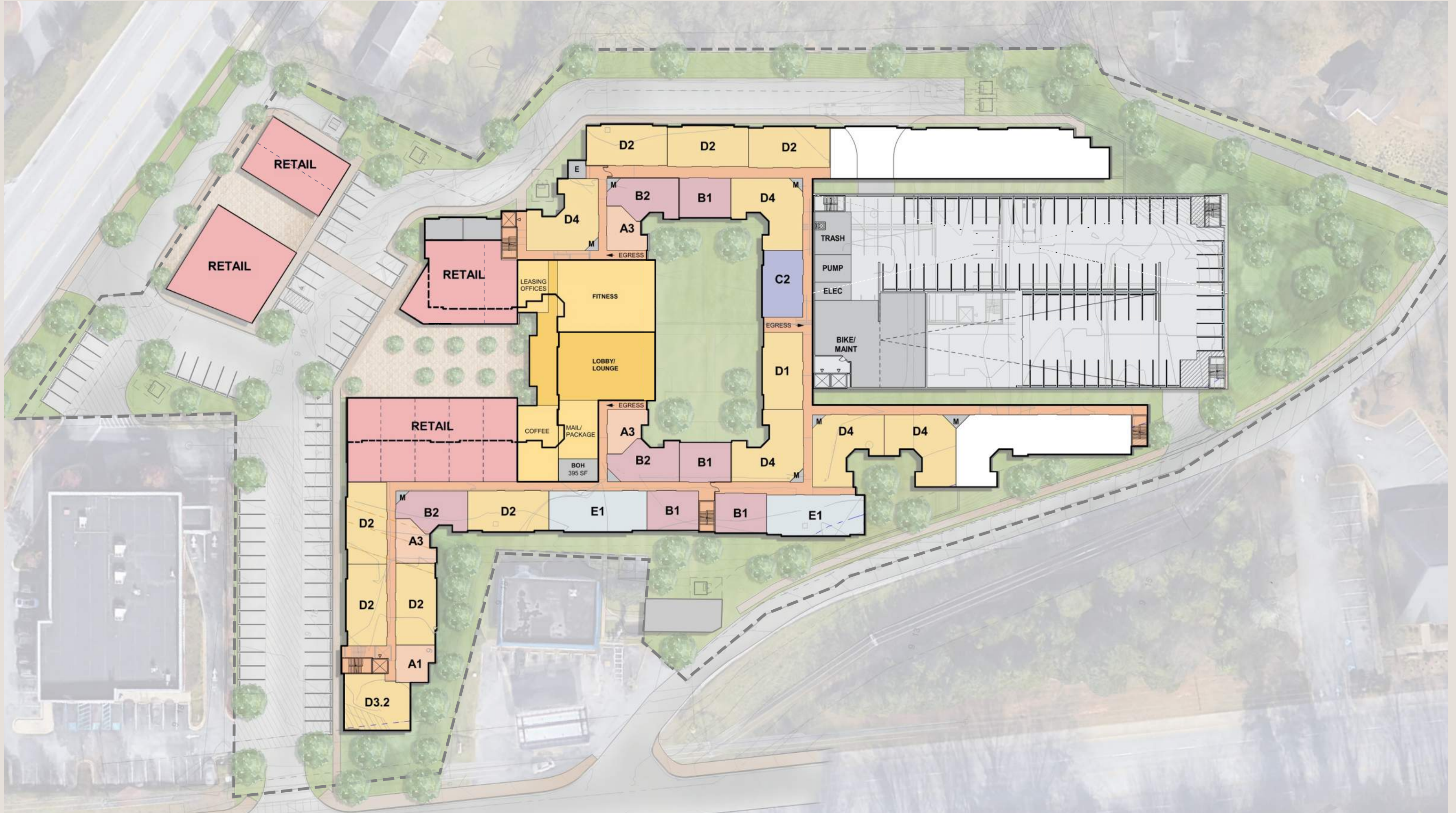


View of Retail Building Paseo - On Axis with Retail/ Lobby Plaza

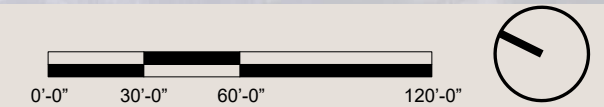
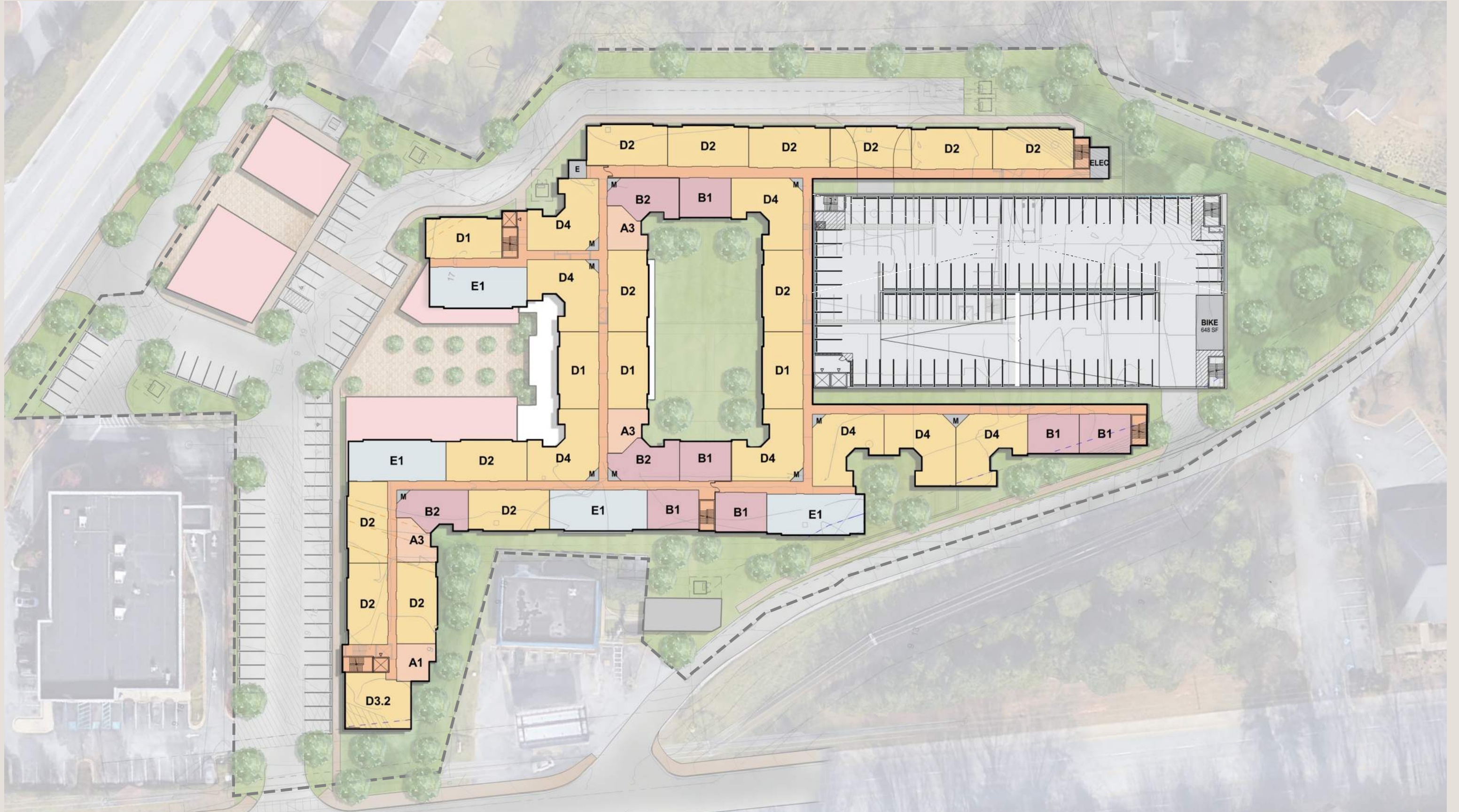


View of Retail Building Paseo - On Axis with Retail/ Lobby Plaza

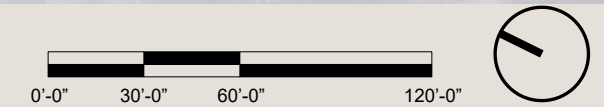
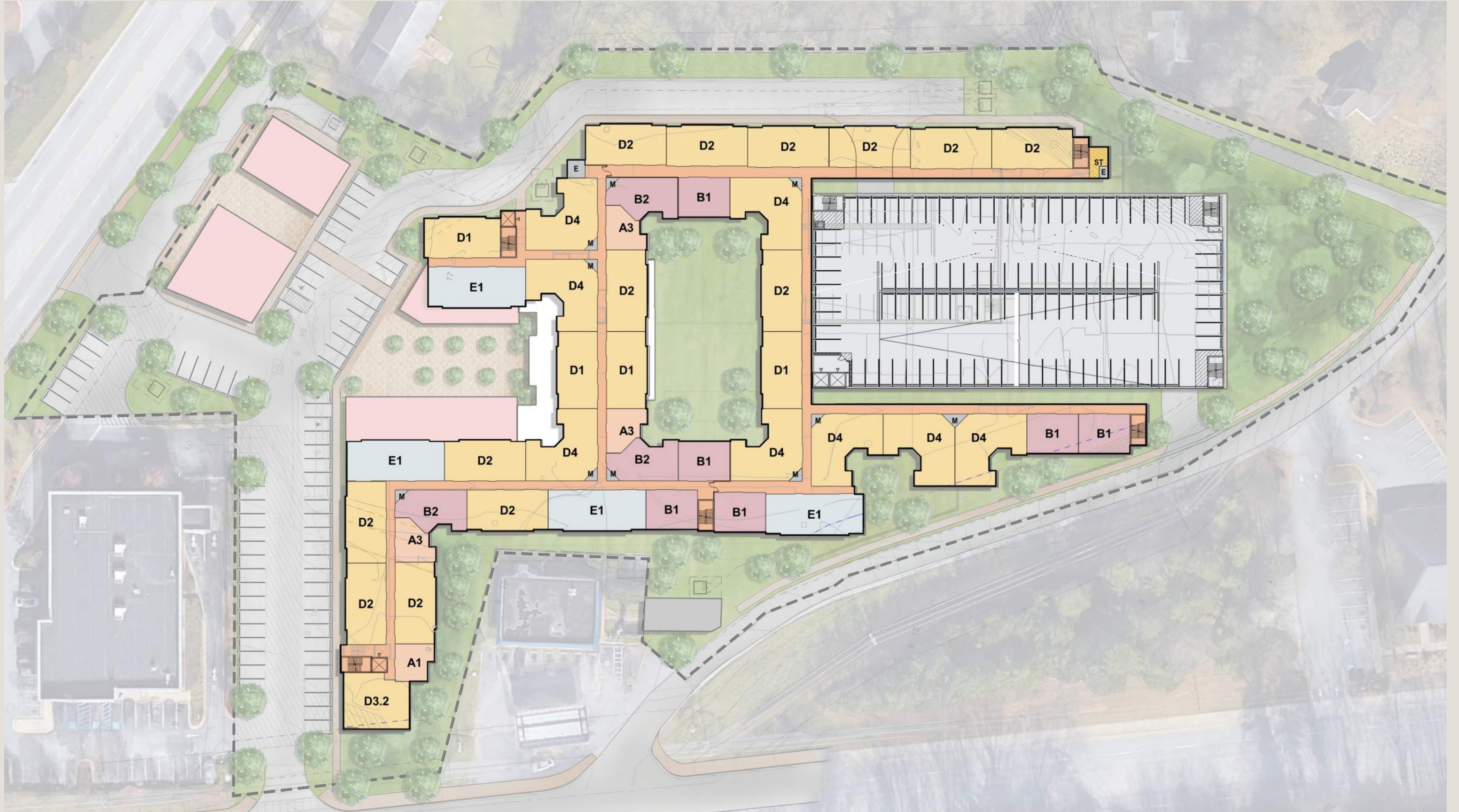
Concept Plan: Level 1



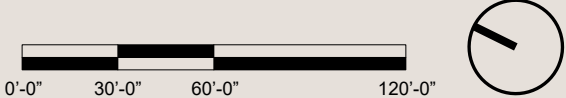
Concept Plan: Level 2



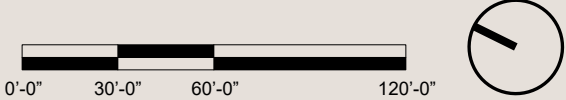
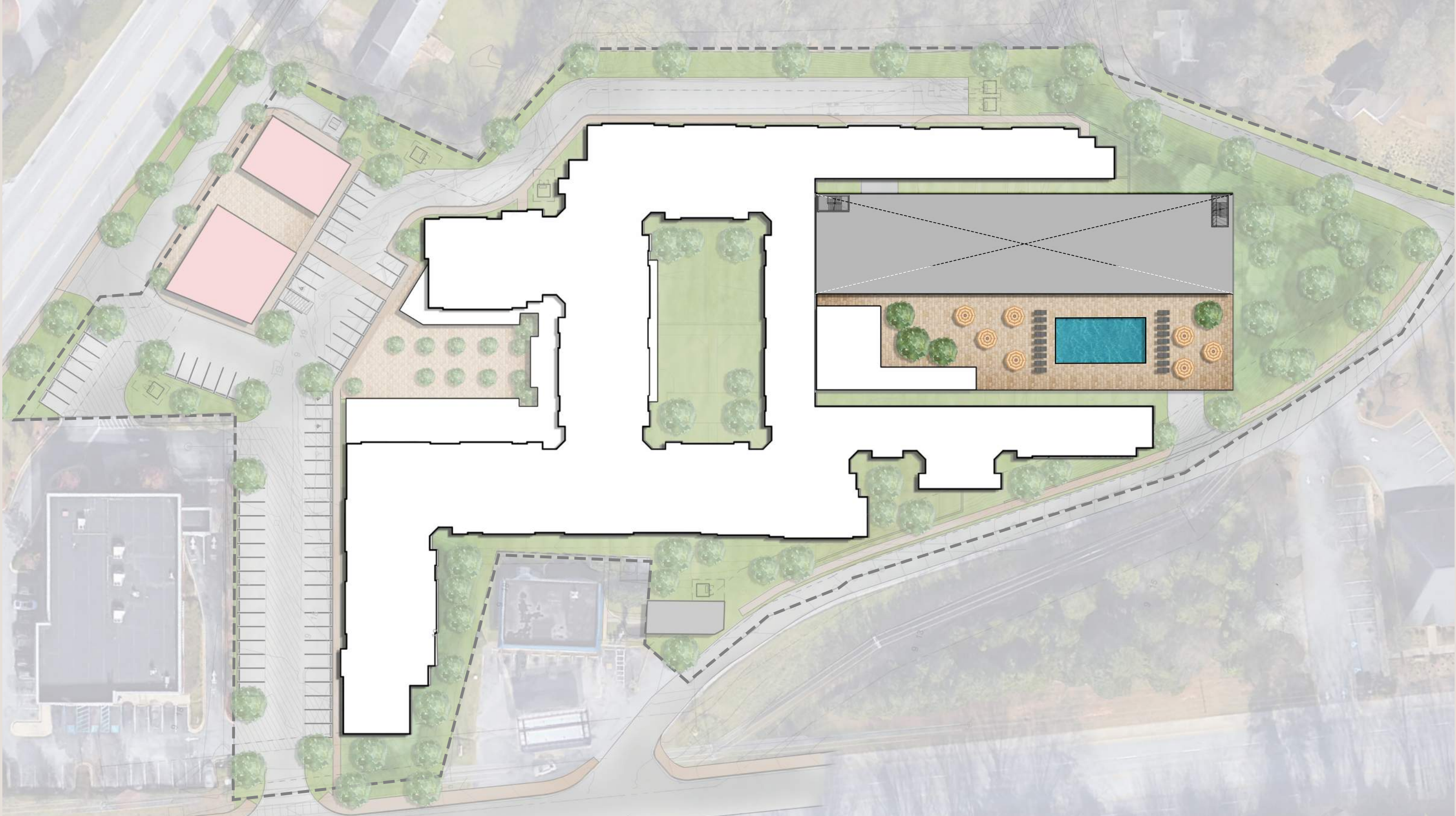
Concept Plan: Level 3-5



Concept Plan: Level 6



Concept Plan: Level 7



Thank you!

Project Contacts:

Doug Smythe
Director Of Acquisitions
Phone: 216-408-3882
Email: dsmythe@kennedywilson.com

Nick Imerman
Sr Development Manager
Phone: 678-231-3951
Email: nimerman@kennedywilson.com

Mariel Arias
Sr Development Analyst
Phone: 646-717-5534
Email: marias@kennedywilson.com

CODE OF ORDINANCES

CHAPTER 19 ZONING (1)

Sec. 19-1104. Powers and duties of the BAR.

- A. The Board of Architectural Review (BAR) shall review applications for permits for the following activities within AR & NC districts which are subject to architectural review by the BAR pursuant to regulations in this article and article 12.

FOOTNOTE(S):

--- (1) ---

Editor's note— Ord. No. CC

ARTICLE XII. Neighborhood Conservation Overlay (NC)

Contents:

- **Sec. 19-1201. Purpose of Neighborhood Conservation Overlay.**
- **Sec. 19-1202. Application of regulations; certificate of approval.**
- **Sec. 19-1203. Establishment of architectural review districts.**
- **Sec. 19-1204. Application of Neighborhood Conservation Overlay standards.**
- **Sec. 19-1205. Application for certificate of approval.**
- **Sec. 19-1206. Procedure for appeal of zoning and codes administrator's decision.**
- **Sec. 19-1207. Appeal of BAR's decision.**
- **Sec. 19-1208. Neighborhood Conservation Overlay Districts.**
- **Sec. 19-1209. Neighborhood Conservation Overlay District Standards.**
- **Secs. 19-1114—19-1200. Reserved.**

Sec. 19-1201. Neighborhood Conservation Overlay district regulations.

The purpose of the Neighborhood Conservation Overlay (NC) for the Coldwater Springs(NC-1) and Sloane-Poe (NC-2) Neighborhoods is to maintain the setting of the area, minimizing changes to the neighborhood, its remaining architectural convention. Adjacent to both the College Avenue and Hwy 93 Mixed Use districts that have been and will continue to be areas of growth, the two neighborhoods warrant additional cover from development.

(Ord. No.

Sec. 19-1102. Application of regulations; certificate of approval.

- A. Neighborhood Conservation Overlay district regulations in this article shall apply to the construction of any new residences, additions to existing residences, construction of accessory structures greater than 200 sq/ft, installation or expansion of parking areas or driveways and subdivision of property.

These regulations shall not apply to:

1. Temporary uses or structures permitted by district regulations;
 2. Ordinary maintenance, painting, or repair which does not require a building permit;
 3. Public and private utility structures permitted by district regulations;
 4. Structures on public streets or public property approved by the City Council;
 5. Demolition of any structure which the Building Official certifies, in writing, to the Board, is required to protect the public from unsafe or dangerous conditions.
 6. Fences, wall or sports courts.
 7. Exterior alterations to the rear of a property, not visible from the street, although they may require a building permit, will not require approval from the Board of Architectural Review
- B. In all NC districts, a certificate of approval is required before any permit for a particular project can be issued. The certificate of approval is based entirely upon the approval of, and any conditions established by, the Board of Architectural Review. Such approval shall be pursuant to Section 3 of the Vested Rights Ordinance (CC-2005-11) [section 15-30.2].
- C. When NC District Standards do not provide dimensional limitations or modifications of a structure or site, the underlying zoning district regulations shall apply.
- D. If existing structure is in violation of the regulations it can continue to do so provided the proposal does not increase its non-conformity

(Ord. No.

Sec. 19-1203. Establishment of Neighborhood Conservation Overlay Districts.

- A. An Neighborhood Conservation Overlay Districts (NC) is an overlay zoning district which may be established in accordance with zoning map amendment procedures. The standards shall be coordinated to:
 1. Promote harmonious and attractive development adjacent to the City's main commercial corridors;
 2. Ensure pedestrian accessibility;
 3. Protect the character of established neighborhoods;
 4. Encourage cohesive architectural styles within a neighborhood;
 5. Promote creativity that encourages superior and/or innovative architectural and site design.
 6. Protect and enhance the Cities Tree Canopy
- B. Design review standards shall reflect element of the Comprehensive Plan;
- C. Specific standards shall be adopted as a part of the Zoning Ordinance which establishes each Neighborhood Conservation Overlay District;
- D. The Board of Architectural Review shall use these standards to encourage development that draws from and responds to the architectural features of existing structures, while respecting the impact on any adjacent residential properties.

(Ord. No

Sec. 19-1204. Application of Neighborhood Conservation Overlay standards.

- A. Specific district standards can be adopted as a part of the ordinance which establishes each NC district.
- B. In addition, the following general standards shall be applied in the review of applications for certificates of approval:
 1. The natural terrain and landscape shall be preserved and protected, where feasible. Trees and shrubs shall not be destroyed indiscriminately.
 2. Architectural scale, location, form, line, color, texture, and other design elements of buildings, structures, and signs shall be in harmony with the character of the district.
 3. Exterior lighting shall be used for safety and design, not for advertising.

4. Electrical and mechanical equipment, [refuse](#), and storage areas shall be concealed or screened from view.
5. Applications shall not be approved for projects that fail to comply with the high quality of design established by these standards.

Sec. 19-1205. Application for certificate of approval.

- A. In NC Neighborhood Conservation Overlay districts, a certificate of approval is required before a building permit can be issued. Application for a certificate of approval shall be submitted through the office of Planning and Development.
 1. The following architectural review procedure is hereby established.
 - a. Conceptual review. Applicants are encouraged to meet with the Zoning and Codes Administrator prior to the preparation of working drawings and specifications. The purpose of this meeting shall be to acquaint the applicant with Neighborhood Conservation Overlay standards and guidelines. Applicants may meet with the board of architectural review for a tentative reaction to the general design concept of a proposed project. Conceptual review is mandatory for all new structures or major remodels that change the outward appearance of an existing structure by greater than 40% of the frontage facade(s).
 - b. Preliminary review. During preliminary review, the Board of Architectural Review shall provide the applicant with specific responses to the application for a certificate of approval. If the materials presented with an application are sufficiently clear, the Board of Architectural Review, or its designee, may grant preliminary and final approval. The first time a project involving new construction or a remodeling is brought to the BAR public input will be allowed per the BAR By-Laws.
 - c. Final Review. At the conclusion of final review, the Board of Architectural Review, or its designee, may grant, grant with conditions, or disapprove an application for a certificate of approval.

2. The Board of Architectural Review may delegate its authority to conduct conceptual, preliminary, and final design review regarding any one project or one or more categories of projects to the Zoning and Codes Administrator.
3. Nine full-color paper copies and one digital copy of the following shall be submitted to the Zoning and Codes Administrator by the application deadline:
 - a. Site plan, drawn to scale;
 - b. Landscape plan;
 - c. Elevation plans, including any portions of the structure visible from a public right-of-way; and
 - d. Other information as may be required, and may include pictures of any buildings adjacent to the subject property.
4. The Zoning and Codes Administrator can accept additional support materials after the deadline provided the primary information is detailed and substantially complete by the time the subject documents must be posted for public review and application was received on time.
5. After review of a delegated application and determination that all applicable Neighborhood Conservation Overlay standards for the district are met, the Zoning and Codes Administrator may issue a certificate of approval. The Zoning and Codes Administrator may, however, defer review of questionable applications to the Board of Architectural Review.
6. Decisions of the Zoning and Codes Administrator may be appealed to the Board of Architectural Review pursuant to procedures set forth in this article.

(Ord. No.

Sec. 19-1206. Procedure for appeal of zoning and codes administrator's decision.

- A. A person aggrieved by a decision of the Zoning and Codes Administrator related to an application for an architectural review certificate of approval, or any officer, department, or board of the city may appeal the decision to the Board of Architectural Review, as follows:
 1. The appealing party shall file written notice of appeal with the Zoning and Codes Administrator and the Board of Architectural Review within 30 days

after receipt of written notification of the Zoning and Codes Administrator's decision. The notice of appeal shall specify the grounds of appeal;

2. The Zoning and Codes Administrator shall provide the BAR with all documents in the record upon which the action appealed was taken;
3. An appeal stays all proceedings to enforce the action, unless the Zoning and Codes Administrator certifies that a stay would cause imminent peril to life and property. The BAR or Circuit Court may grant a restraining order for due cause;
4. The BAR shall hear the appeal at its next regularly scheduled meeting, provided that notification of the appeal is published in a newspaper of general circulation 15 days before the meeting;
5. The appealing party may appear in person or by attorney at the meeting;
6. The BAR shall hear the appeal in accordance with adopted procedure. The BAR shall provide a written decision, including findings of fact and conclusions; and
7. The BAR shall serve a copy of its decision on parties in interest by certified mail and keep a copy as a permanent [public](#) record.

(Ord. No.)

Sec. 19-1207. Appeal of BAR's decision.

Decisions of the Board of Architectural Review may be appealed to the Circuit Court within 30 days of the BAR's decision pursuant to S.C. [Code](#) 1976, § 6-29-900.

(Ord. No

Sec. 19-1208. Neighborhood Conservation Overlay Districts.

The boundaries of the Architectural Review Overlay Districts are established as per Map 19-1208.

MAP

Sec. 19-1209. Architectural review overlay district standards.

Table 19-1209 Neighborhood Conservation Overlay Districts Standards

"√" = required "-" = not required

| Standards | NC District | |
|---|-------------|----|
| | # 1 | #2 |
| Building Standards | | |
| 1. Carports and garage doors will not face the street except in cases where there is no reasonable alternative. If they do face the street, garage entrances should be designed to be consistent with the home's architectural features. | | |
| 2. The design of detached garages and carports and the materials of which they are constructed will be consistent with the character of the main structure. | | |
| 3. Houses built on corner lots will include in the design of their side facades elements that reinforce a consistent design theme for each of the streets where they will be visible | | |
| 4. All new homes AND additions require the approval of the Board of Architectural Review | | |
| 5. Properties within the district are limited to one Accessory Dwelling Unit, Guest Cottae, Accessory Customary & Typical Structures or Detached Garage per lot, the materials to be used will be appropriate for the style of the main residence, and are subject to approval of the Board of Architectural Review | | |
| 6. Planned Development proposals are not allowed for properties located within the NC Overlay Districts | | |
| 7. All new homes are subject to the City's Site Management Plan during construction | | |
| Site Standards | | |
| 1. All lot subdivisions must result in lots that meet the district minimum 20,000 square feet | | |
| 2. The Minimum frontage for a new lot shall be no less than the average of the 2 adjacent lots on either side of the new lots. New lots are defined as lots that are created by subdivision after the adoption of the NC Neighborhood Conservation Overlay. | | |
| 3. New lots created will avoid irregular shapes with side lots lines being perpendicular to the road. | | |
| 4. New houses on vacant lots within already existing built-up areas shall be set back within 5 feet of the average set back of contributing buildings on the block. The average set back shall be determined by the distance contributing structures are away from the center line of the street at the time the overlay district is created. The main portion of structures (not wings or bays) shall be the basis of the measurements. A new building will reinforce the horizontal and vertical connection between contributing houses on the street. If other buildings do not exist on adjacent lots, the new construction must respect the provisions of the Clemson Zoning Ordinance in effect at the time of designation. | | |

| | | |
|---|--|--|
| 5. All construction plans shall assess and take into account the impact of drainage on both the subject property and neighboring properties. | | |
| 6. All new development or major modifications to existing development will require the construction of sidewalks and any streetscape prescribed | | |
| 7. Because the streets of the neighborhood are routinely used by residents for recreational and community purposes, on-street parking will not be allowed and must be removed if existing when a project meeting the threshold for BAR review is initiated. In planning all construction, parking commensurate with potential occupancy needs to be considered, so that it is sized adequately for the number of occupants anticipated for residency of the house | | |
| 8. All new homes are required to adhere to landscaping standards found in the Architectural District Standards table 19-1110. | | |
| 9. Site plans for new construction must map mature trees and describe the measures that will be to conserve them, minimizing the loss of mature trees. For every 6" DBH or greater tree taken down two canopy trees must be installed in its place. If no suitable location can be found property owner can pay \$500.00 into the tree bank fund for every missing tree. | | |
| 10. New buildings and additions shall be designed to set into the landscape with a minimum of reshaping to the topography and loss of mature trees | | |
| 11. New construction should provide for large, native trees that will reach at least 50 feet in height at maturity. At least two trees of this type should be placed in each of the front and rear yards; existing trees may be included in this amount | | |
| 12. At least two ornamental trees such as a dogwood or redbud should be shown in the front and rear yards of each building being submitted for approval for new construction | | |
| 13. Driveways should be as thin as possible with only one point of access to the street. | | |
| | | |

Residential Architectural Styles -- For Discussion

Section 401: Residential Architectural Styles

The most memorable towns and neighborhoods are composed of buildings of similar styles or of differing but highly recognizable styles. The Patrick Square site shall take its inspiration from the styles of the nineteenth and early twentieth centuries found in the eastern part of the United States. They are the Carolina, Craftsman, Victorian, Colonial, Greek revival, and Georgian styles. These styles are well suited to the climate and are frequently found in the surrounding cities and towns throughout the region and the state.

All residences shall incorporate a stoop and/or porch element. The Architectural Review Consultant shall review the facades of all of the house types employed throughout the development to ensure that they adhere to the styles set forth in this section of the Plan.

Please refer to the following books regarding specifics on these styles:

A Field Guide to American Houses" (McAlester & McAlester, 1984)

"The American Vignola: A Guide to the Making of Classical Architecture" (Ware, 1903)

"Traditional Construction Patterns: Design & Detail Rules of Thumb" (Mouzon, 2004)

"American Shelter: An Illustrated Encyclopedia of the American Home" (Walker, 1981)

These books shall be made available at the office of the Architectural Review Consultant.

In addition to the five styles described above, a Contemporary Contextual style shall be allowed on the custom residential lots. Homes designed in this style shall embrace the street and public realm, be composed of natural materials, have vertical window proportions, and shall be modeled on the proportions of one of the five above mentioned traditional architectural style. Additionally, flat roofs are not allowed with this style. The final design of these style homes shall have to receive the approval of the Developer and the Architectural Review Consultant.



Carolina



Craftsman



Carolina



Craftsman

Residential Architectural Styles -- For Discussion



Victorian



Colonial



Colonial



Victorian



Colonial



Georgian

Residential Architectural Styles -- For Discussion

CAROLINA

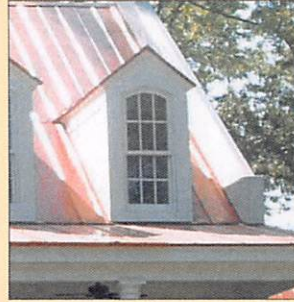


The Carolina style houses are designed in response to the heritage of the area. These houses usually have front porches that wrap around the sides of the house. The first story of the house is usually taller than the upper stories to facilitate cross breezes. Wooden shutters and a metal roof are also common features.

Some general characteristics of the South Carolina style also include:

1. Wood clapboard or board and batten siding
2. Shallow pitched roof, gable or hip, metal or shingle
3. Large porch that may wrap around the side of the house
4. Tall first story with elongated windows

Windows



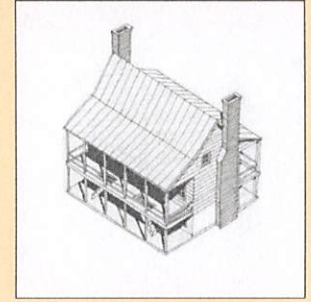
1. Rectangular punched window openings with recessed windows
2. Dormers
3. Vertical format, double hung
4. Trim around the jamb and head
5. Wooden shutters

Doors



1. Recessed multi-paneled door
2. Vertical format
3. Decorative wooden trim
4. Transom, side lights and/or shutters

Massing



1. Simple rectangular forms (rectangle or box)
2. Gable or hipped roof
3. First floor taller than other floors

Details



1. Simple detailing to columns and railings
2. Doric or square columns
3. Porches rest on brick, stone or stucco piers

Porches



1. Major feature of the house; large in proportion to the mass of the house, may cover front and sides
2. May have a metal roof
3. Raised above grade
4. May be two-stories in some cases

Typical Materials

| | |
|---------------------|--|
| <i>Cladding:</i> | Wood, fiber-cement, clapboard (masonry shall only be used on duplex housing) |
| <i>Roofing:</i> | Metal or Asphalt Shingle |
| <i>Windows:</i> | Wood, vinyl or aluminum clad with traditional profiles |
| <i>Trim:</i> | Wood or EIFS |
| <i>Shutters:</i> | Wood |
| <i>Soffits:</i> | Wood or wood composite |
| <i>Gutters:</i> | Metal |
| <i>Downspouts:</i> | Metal |
| <i>Columns:</i> | Wood, fiberglass or wood composite |
| <i>Railings:</i> | Wood or wood composite |
| <i>Foundations:</i> | Brick |
| <i>Fencing:</i> | Wood |
| <i>Colors:</i> | Approved by the Architectural Review Consultant |

Residential Architectural Styles -- For Discussion

Windows



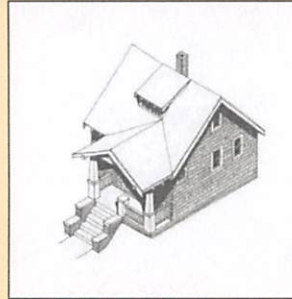
1. Rectangular punched window openings with recessed windows
2. Horizontal or square format, double hung
3. Multi-pane units
4. Trim around the jamb and head
5. Stone, wood or precast sill with some detail
6. No shutters

Doors



1. Recessed multi-paneled door
2. Vertical format
3. Multi-pane units
4. Decorative wooden trim
5. Transom and side lights are optional

Massing



1. Simple forms (rectangle or box) with exaggerated roof proportions
2. Hipped or gable roof
3. Two (2) or three (3) stories
4. Horizontally proportioned

Details



1. Large overhangs
2. Decorative vergeboard and oversized brackets
3. Details emphasize the structure of the building

Porches



1. The porch is a major feature of the house; large in proportion to the overall mass of the house
2. Porch is a deep horizontal mass with large overhanging roof
3. Wooden, with carved ornamentation
4. Raised above grade
5. Usually a contrasting color to the house
6. Framed by massive square columns with heavy bases

Typical Materials

| | |
|---------------------|--|
| <i>Cladding:</i> | Wood, fiber-cement or clapboard |
| <i>Roofing:</i> | Cedar Shake, Simulated Slate or Asphalt Shingle |
| <i>Windows:</i> | Wood, vinyl or aluminum clad with traditional profiles |
| <i>Trim:</i> | Wood or EIFS |
| <i>Shutters:</i> | None |
| <i>Soffits:</i> | Wood or wood composite |
| <i>Gutters:</i> | Metal |
| <i>Downspouts:</i> | Metal |
| <i>Columns:</i> | Wood, fiberglass or wood composite |
| <i>Railings:</i> | Wood or wood composite |
| <i>Foundations:</i> | Brick, stone or stucco |
| <i>Fencing:</i> | Wood |
| <i>Colors:</i> | Approved by the Architectural Review Consultant |

CRAFTSMAN



The Craftsman style expresses the materials of the building, using clean lines, sturdy structure and natural materials. Very large gable roofs with exaggerated overhangs and brackets are typical. Most houses are one to two stories tall with simple rectangular plans and generous front porches.

Some general characteristics of the Craftsman style also include:

1. Low-pitched gable roof (5:12 to 8:12)
2. Front dormer with shed or gable-end roof
3. Decorative beams or brackets under gables
4. Exposed rafter ends
5. Wide overhanging roofs and porches
6. Deep porches
7. Materials and colors may change from first to second floors (contrasting colors are encouraged)

Residential Architectural Styles -- For Discussion

VICTORIAN



Victorian houses are typically characterized by front-facing, vertically oriented gables and asymmetrical facades. They are also easily recognized by the elaborate vergeboard, also known as gingerbread, below the gables and the strong vertical emphasis of the windows and rooflines.

Some general characteristics of the Victorian style also include:

1. All wood construction
2. Wood clapboard or board and batten siding
3. Steeply pitched roof (8:12 to 14:12)
4. Partial or full width porches or verandas
5. Patterned and multiple types of siding
6. Contrasting colors in trim and roof vergeboard
7. Asymmetrical and complex massing, with one gable facing the street

Windows



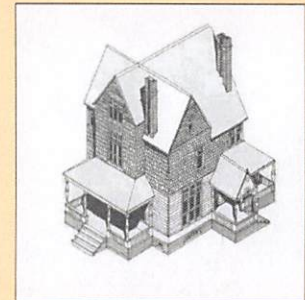
1. Rectangular punched window openings with recessed windows
2. Vertical format, double hung
3. Multi-pane units
4. Trim around the jamb and head
5. Stone, wood or precast sill with some detail
6. Shutters

Doors



1. Recessed multi-paneled door
2. Vertical format
3. Decorative wooden trim
4. Transom and side lights

Massing



1. Simple rectangular forms, asymmetrical massing of additive forms
2. Hipped or gable roof
3. Two or three stories
4. First floor taller than other floors

Details



1. Moderate or large overhangs
2. Decorative vergeboard
3. Carved woodwork as decorative trim around windows and doors

Porches



1. The porch is a major feature of the house; large in proportion to the mass of the house
2. Wooden, with carved ornamentation
3. Raised above grade
4. Usually a contrasting color to the house

Typical Materials

| | |
|---------------------|--|
| <i>Cladding:</i> | Wood, fiber-cement, clapboard (masonry shall only be used on duplex housing) |
| <i>Roofing:</i> | Metal, Cedar Shake or Asphalt Shingle |
| <i>Windows:</i> | Wood, vinyl or aluminum clad with traditional profiles |
| <i>Trim:</i> | Wood or EIFS |
| <i>Shutters:</i> | Wood |
| <i>Softits:</i> | Wood or wood composite |
| <i>Gutters:</i> | Metal |
| <i>Downspouts:</i> | Metal |
| <i>Columns:</i> | Wood, fiberglass or wood composite |
| <i>Railings:</i> | Wood or wood composite |
| <i>Foundations:</i> | Brick, stone or stucco |
| <i>Fencing:</i> | Wood |
| <i>Colors:</i> | Approved by the Architectural Review Consultant |

Residential Architectural Styles -- For Discussion

Windows



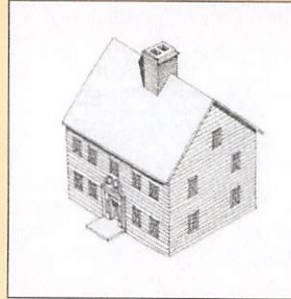
1. Rectangular punched window openings with recessed windows
2. Horizontal or square format, double hung
3. Multi-pane units
4. Trim around the jamb and head
5. Stone, wood or precast sill with some detail
6. Shutters

Doors



1. Recessed multi-paneled door
2. Vertical format
3. Decorative wooden trim
4. May have transom and side lights

Massing



1. Simple rectangular forms (rectangle or box)
2. Gable roof
3. Two or three stories

Details



1. Moderate overhangs with classical details
2. Trim is usually white

Stoop/Porches



1. The porch or stoop is used as an entry
2. Wooden, with carved ornamentation
3. Raised slightly above grade
4. Classical in style, features large Doric, Ionic and Corinthian columns

Typical Materials

| | |
|---------------------|--|
| <i>Cladding:</i> | Brick, wood or fiber-cement |
| <i>Roofing:</i> | Metal, Cedar Shake, asphalt or slate shingles |
| <i>Windows:</i> | Wood, vinyl or aluminum clad with traditional profiles |
| <i>Trim:</i> | Wood or EIFS |
| <i>Shutters:</i> | Wood |
| <i>Soffits:</i> | Wood or wood composite |
| <i>Gutters:</i> | Metal |
| <i>Downspouts:</i> | Metal |
| <i>Columns:</i> | Wood, fiberglass or wood composite |
| <i>Railings:</i> | Metal, wood or wood composite |
| <i>Foundations:</i> | Brick, stone or stucco on block |
| <i>Fencing:</i> | Metal or wood |
| <i>Colors:</i> | Approved by the Architectural Review Consultant |

COLONIAL



Colonial houses are typically characterized by a symmetrical facade and gables parallel to the street. They are also easily recognized by their simple massing and elegant classical details.

Some general characteristics of the Colonial style also include:

1. Medium pitched roof
2. Multi-paned windows with shutters
3. Entry porches with classical columns and cornices
4. Ornamental front doors framed with side lights, fan lights or glass transoms
5. An orderly arrangement of windows, doors, porches and roof forms, usually symmetrical

Residential Architectural Styles -- For Discussion

GEORGIAN



Georgian houses are typically characterized by a symmetrical facade and gables parallel to the street. They are also easily recognized by their horizontal or square format and elegant classical details.

Some general characteristics of the Georgian style also include:

1. Medium pitched roof
2. Multi-paned windows with shutters
3. Entry porches with classical columns and cornices
4. Front door centrally located, framed with light, fan lights or a decorative crown
5. An orderly arrangement of windows, doors, porches and roof forms, usually symmetrical, usually five windows on the second floor

Windows



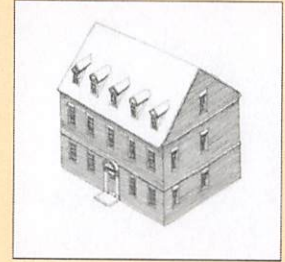
1. Rectangular punched window openings with recessed windows
2. Vertical or double square format, double hung
3. Multi-pane units
4. Trim around the jamb and head
5. Stone, wood or precast sill with some detail
6. Shutters

Doors



1. Recessed multi-paneled door
2. Vertical format
3. Decorative wooden trim
4. Transom and side lights

Massing



1. Simple forms (rectangle or box), usually horizontal in proportion
2. Gable roof
3. Two or three stories

Details



1. Moderate overhangs with classical details
2. Elegant and symmetrical

Stoop/Porches



1. The stoop/porch is used as an entry
2. Wood, with carved ornamentation
3. Raised slightly above grade
4. Classical in style; features large Doric, Ionic or Corinthian columns

Typical Materials

| | |
|---------------------|--|
| <i>Cladding:</i> | Brick, stone, wood, fiber-cement |
| <i>Roofing:</i> | Metal, Cedar Shake, asphalt or slate shingle |
| <i>Windows:</i> | Wood, vinyl or aluminum clad with traditional profiles |
| <i>Trim:</i> | Wood or EIFS |
| <i>Shutters:</i> | Wood |
| <i>Soffits:</i> | Wood or wood composite |
| <i>Gutters:</i> | Metal |
| <i>Downspouts:</i> | Metal |
| <i>Columns:</i> | Wood, fiberglass or wood composite |
| <i>Railings:</i> | Metal, wood or wood composite |
| <i>Foundations:</i> | Brick or stone |
| <i>Fencing:</i> | Metal or wood |
| <i>Colors:</i> | Approved by the Architectural Review Consultant |

Residential Architectural Styles -- For Discussion

GREEK REVIVAL



Greek Revival houses are typically characterized by the adoption of the Architectural Orders and decorative motifs of the classical Greeks, primarily drawing on the Doric and Ionic orders. Early expressions of this style retained massing and composition rules from the Federal style, but applied Greek revival details, proportions in place of Adamesque. As the style matured, its expression became increasingly monumental, but remained adaptable to humbler dwellings.

1. Roofs should be gabled or hipped with a low pitch.
2. Multi paned windows
3. The cornice line of roofs and porches should be emphasized with a wide band of trim
4. Entry porches with classical columns and cornices
5. Front door may include narrow sidelights and a rectangular transom light above

Windows



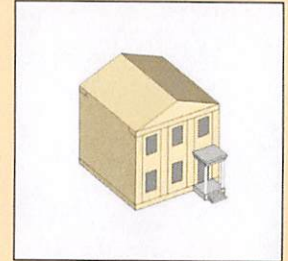
1. Rectangular punched window openings with recessed windows
2. Vertical or square format, double hung
3. Multi-pane units
4. Trim around the jamb and head
5. Stone, wood or precast sill

Doors



1. Residential entry doors should be 2 or 4 or 6 panel doors.
2. Entry door surrounds with pilasters and a flat entablature appropriate to the architectural style shall be provided.

Massing



1. Simple forms (rectangle or box), usually horizontal in proportion
2. Gabled or
3. Two or three stories

Details



1. Moderate overhangs with classical details
2. Elegant and symmetrical

Stoop/Porches



1. The stoop/porch is used as an entry
2. Wood, with carved ornamentation
3. Raised slightly above grade
4. Classical in style; features large Doric, Ionic or Corinthian columns

Typical Materials

| | |
|---------------------|--|
| <i>Cladding:</i> | Brick, stone, wood, fiber-cement |
| <i>Roofing:</i> | Metal, Cedar Shake, asphalt or slate shingle |
| <i>Windows:</i> | Wood, vinyl or aluminum clad with traditional profiles |
| <i>Trim:</i> | Wood or EIFS |
| <i>Shutters:</i> | Wood |
| <i>Soffits:</i> | Wood or wood composite |
| <i>Gutters:</i> | Metal |
| <i>Downspouts:</i> | Metal |
| <i>Columns:</i> | Wood, fiberglass or wood composite |
| <i>Railings:</i> | Metal, wood or wood composite |
| <i>Foundations:</i> | Brick or stone |
| <i>Fencing:</i> | Metal or wood |
| <i>Colors:</i> | Approved by the Architectural Review Consultant |

Sec. 19-107. Definitions

Affordable Housing means a housing unit monitored by a city recognized housing authority whose occupant/occupant's makes up to 80% of AMI (Area Median Income) and the rent is set at no more than 30% of household gross income.

Attainable Housing means a housing unit monitored by a city recognized housing authority whose occupant/occupant's makes up to 120% of AMI (Area Median Income) and the rent is set at no more than 30% of household gross income.

...

Market Housing means housing that can be used for any sector of the population including students. In the case of an apartment building it shall only include the apartment its self not stairwells, hallways, mechanical rooms, parking etc.

...

Mixed-use means a combination of usually separated land uses within a single development.

Mixed Use Development means a combination of usually separated land uses and buildings within a single development which must include residential uses in addition to non-residential uses permitted in that zoning district.

Mixed-use structure means a building containing residential in addition to non-residential uses permitted in the zone.

...

Senior Housing means housing that is restricted to people over the age of 40 through a deed restriction of enforceable HOA.

....

Stormwater management means the collecting, conveyance, channeling, holding, retaining, detaining, infiltrating, diverting, treating, or filtering of surface water, ground water, and/or runoff, together with applicable managerial (nonstructural) measures.

Story – the distance of that portion of a building included between the upper surface of a floor and the upper surface of the floor or roof next above. **Stories that are 60% below ground will not be counted to maximum stories. Penthouse that are more than 20ft from the edge of the building of the story below it below and do not take up more than 50% of the foot print of the building will not count toward the maximum stories**

(Ord. No. [CC-2021-32](#), 12/06/2021)

Effective on: 12/6/2021

Street, arterial means a major roadway designed to carry a large volume of through traffic in the area; normally controlled by traffic signs and signals.

Draft Mixed-Use High Density Developments PLANNING COMMISSION 01/13/26
FOR DISCUSSION ONLY

| P= Permitted Use C = Conditional Use SE = Special Exception A = Accessory Dash (-) = Use not Permitted | | | | | | | | | | | | |
|--|--|------------|---|-----|------|------|------|----|------|----|---|------------------------------|
| USE CATEGORY | USE TYPE | NAICS Code | C | C M | CP-1 | CP-2 | CP-3 | OP | RI L | OR | M | C/SE Reference |
| A. RESIDENTIAL USES | | | | | | | | | | | | |
| Residential Developments , Various | Mixed Use Structures: Developments(three (3) stories or less) | NA | C | C | - | - | - | - | - | - | - | See Section 19-402 Endnote 7 |
| | Mixed Use Developments: (over three (3) stories) | NA | C | C | - | - | - | - | - | - | - | See Section 19-402 Endnote 7 |
| F. Services | | | | | | | | | | | | |
| Other Personal Services | Parking Lot | 812930 | C | | C | C | | | | | | |
| | Freestanding Parking Structures | 812930 | C | C | C | C | | | | | | |

Table 19-404-1. Density, Bulk, and Dimensional Requirements for Principal and Accessory Uses and/or Structures in the Non-residential Districts

| P= Permitted Use C = Conditional Use SE = Special Exception A = Accessory Dash (-) = Use not Permitted | | | | | | | | | | | | |
|--|-----------------------|-----------------------|----------|--|----------|----------|----------|-----|-----------------------|---|--|--|
| USE CATEGORY | C | CM | CP-1 | CP-2 | CP-3 | OP | RIL | O R | M | Reference | | |
| A. MINIMUM DIMENSIONAL AND/OR BULK STANDARDS FOR ALL NON-RESIDENTIAL DISTRICTS | | | | | | | | | | | | |
| 8. Structure Height, max. in Stories | 3 Stories 10,11,15 | 3 Stories 10,11,15 | 40' 4 | 40'/65' ⁴⁴ 7 ^{11, 15} | 40' 4 | 35' 3 | 50' 5 | - | 65' 7 ⁷ | See Section 19-404-1 Endnotes 7, 9, 10 & 11 | | |

¹ The maximum front setback in the C district shall be three feet in C, except if the sidewalk in front of the that the maximum front setback may be 20 feet if a porte cochere or similar covered area serving a hotel's main entrance is provided. A five-foot maximum articulation may be provided that exceeds the maximum setbacks.

² In the CM district:

1.

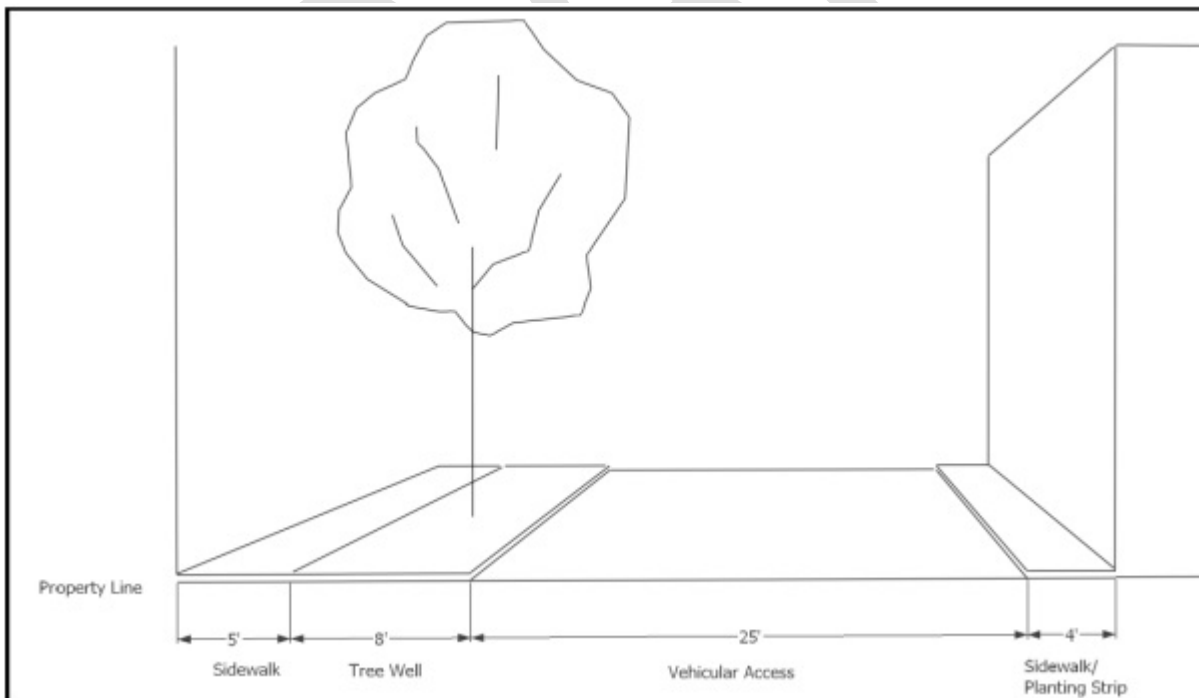
- a. Properties abutting any public right-of-way other than College Avenue, Keowee Trail, or Walter T. Cox Boulevard (Highway 93) shall have a minimum front setback of ten feet;
- b. Properties along College Avenue, Keowee Trail, or Walter T. Cox Boulevard (Highway 93) shall have a minimum front setback of 12 feet;

- c. The maximum front setback for all CM district properties shall be 15 feet, unless a public plaza is provided as per subsection d) of this endnote;
- d. A plaza having a minimum depth of 25 feet and a maximum depth of 50 feet may be provided fronting a public street, sidewalk, City of Clemson property, or land owned by the U.S. Army Corps of Engineers, provided it is accessible to the general public and is a minimum of 25 feet wide up to a maximum width of 30 percent of the building frontage occupancy requirement, provided, however, that all sides of the building abutting the plaza shall have retail, office or service uses having a minimum depth of 35 feet; and
- e. A five-foot maximum articulation may be provided that exceeds the maximum setbacks but shall not occupy more than 30 percent of the total frontage occupancy.
- f. for all setbacks in the CM District, the first 5 feet of the setback adjacent to a public right of way shall be constructed to match the adjacent sidewalk in both grade (topography) and comparable materials. The remaining setback between the building facade and the public right of way along College Avenue, Keowee Trail and Walter T. Cox Boulevard (Highway 93) shall be used as sidewalk, patio, outdoor cafes, bicycle parking, art installations, water features, and landscaping.
- g. No less than 10 percent of the setback area in the CM Districts (excluding the required 5 foot paving strip) is to be landscaped and no more than 35 percent of the setback area shall be landscaped.

³ Minimum lot size applies to both a standalone industrial facility or a multi-tenant business or development park/campus.

⁴ All properties in the C or those fronting College Avenue in the CM district shall be constructed side lot line to side lot line with a zero-foot side setback for the first 50 feet of depth, except for where an entrance is required to provide access to the interior of the site and is designed as per Figure 19-404-A, or as per required bufferyard standards, **or per Architectural District standards or if required by Fire Marshal, Building Official or Zoning Official.** No more than one vehicular entrance, not exceeding 25 feet in width, may be allowed to provide access through the building to the interior of the building or site and whereas an additional five feet of width for a pedestrian sidewalk shall be provided.

Figure 19-404-2



⁵ Parcels in the CM district whose rear property line abuts a public alley or right-of-way shall provide a 15-foot type "E" bufferyard directly abutting the alley or right-of-way. Frontages along Addison Lane and Knox Lane shall be considered rear yards.

⁶ Minimum rear setback for properties abutting U.S. Army Corp of Engineers' land or an active railroad right-of-way

shall be five feet.

⁷ All dimensional standards shall be set by the board of zoning appeals for any proposed manufacturing use classified as special exception petition in the M district or any special exception in the OR district, but shall be no less than the standard indicated.

⁸ Minimum lot width at front building line shall apply to standalone uses on one acre parcels.

⁹ Principal use structures in the CM District shall have a maximum ~~40-foot height~~ 5 stories unless a) the rear bufferyard is expanded by ten feet where such parcels shall have a maximum ~~height of 50 feet~~ 7 stories except in the case of a hotel then can be 8 stories or b) the parcel is entirely contained in the CM District, fronts College Avenue, and abuts property owned by the U.S. Army Corps of Engineers where such parcels shall have a maximum height of 65 feet.

~~¹⁰ For CM parcels fronting College Avenue, height shall be measured at the average grade of the sidewalk along College Avenue. Mixed use Development can be up to 7 stories in the CM district provided they follow the Conditional Use Standards set forth in 19-405 & 5 stories in the C district~~

¹¹ Hotels may be permitted to have a maximum ~~height of 65 feet~~ 7 stories in the CP-2, C & CM district subject to the approval of a conditional use in the CP-2 C & CM district. ~~For the East side of College Ave in the block create by the two end of Strode Circle the maximum height of a hotel is limited to 5 stories.~~

¹² Maximum gross floor area for retail establishments shall not exceed the permitted square feet on any one floor.

¹³ Maximum gross floor area of a single business occupying more than one floor of a building.

¹⁴ The maximum front setback for all CP-1 properties shall be 15 feet, unless a public plaza is provided. Any such plaza shall have a minimum depth of 25 deep and a maximum depth of 50 feet, front a public street or sidewalk, be accessible to the general public, be a minimum of 25 feet wide with a maximum width of 50 percent of the building frontage, and ensure that all sides of the building abutting the plaza have retail, office, or service uses with a minimum depth of 35 feet.

¹⁵ City buildings not subject o height limitations

ARTICLE IV. NON-RESIDENTIAL DISTRICTS AND DISTRICT REGULATIONS

Sec. 19-405. Standards for conditional use and special exceptions for non-residential districts

A. Residential Uses

1. Residential Developments. Various

a. Mixed-use Structures and Mixed-use Developments 3 Stories or less

1. Conditional Use Standards [C District Only]

a. Principal use structure(s) that:

- i. Front a public right-of-way shall have service, retail, or office uses along 100 percent of the facade that abuts the street, sidewalk, or grade level with the exception of Addison Lane and Daniel Drive.
- ii. Principal use structure(s) that otherwise abut a public sidewalk, City of Clemson property or property owned by the U.S. Army Corps of Engineers shall have service, retail, or office uses along a minimum of 50% of the façade. On-site amenities may utilize the remaining frontage;
- iii. On-site leasing and/or on-site management offices, shall comprise the lessor of 25% of a building facade abutting a public right-of-way or sidewalk or a maximum of 2,000 square feet; and
- iv. No on-site amenities shall occupy the ground floor frontage along any public right-of-way or sidewalk.

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- b. Of the required ground level commercial space, at least 50% of the frontage shall have a minimum depth of 50 feet. The remaining portion shall have a minimum depth of 35 feet. No commercial use shall be allowed to have a width of less than 15 feet.
- c. No more than one entrance, not exceeding 25 feet in width per street frontage, may be allowed to provide vehicular access to the interior of the building or site. An additional five feet of width for a pedestrian sidewalk shall be provided. Additional curb cuts maybe allowed for service and emergency access.
- d. All parking provided within or under a mixed-use building must be designed to allow for maneuvering space sufficient to allow each vehicle to individually enter and exit the structure, as well as, all other design requirements of ARTICLE VIII.
- e. Surface parking shall not be allowed abutting a public right-of-way, sidewalk, City of Clemson property or property adjacent to shoreline frontages of Lake Hartwell owned by the U.S. Army Corps of Engineers.
- f. One eight foot wide entrance doorway providing pedestrian access to the interior of the principal use structure may be permitted per street frontage.
- g. Balconies shall comply with the following:
 - i. Shall not extend past the property line;
 - ii. Shall not overhang any public or private sidewalks; and
 - iii. Balconies shall be prohibited for portions of buildings abutting residentially zoned R-20 and R-12 properties.
- h. Dwelling units are permitted subject to the following:
 - i. Dwelling units are only allowed on floors above the grade level for any portion of a principal use structure(s) that abuts a public right-of-way or sidewalk or any property owned by the City of Clemson or the U.S. Army Corps of Engineers other than for properties fronting Daniel Drive as noted in subparagraph a)i.;
 - ii. For portions of a mixed use structure(s) not covered in subparagraph h)i.), dwelling units may be located within the principal use structure(s) on any grade/floor provided no access to the dwelling units shall be permitted along the exterior of the building other than as provided by subparagraph (f). All structures must be mixed-use; and
 - iii. Each dwelling unit shall have minimum floor area of 350 square feet.
- i. On-site management shall be required for short-term rentals of any dwelling unit of less than 30 days of occupancy.
- j. A bond in an amount equal to 150% of the estimated cost for building out the commercial space (based on the current average cost for commercial construction in the area as determined by the City) shall be posted at the time of the issuance of the first Certificate of Occupancy issued for any portion of the residential component of the mixed-use structure. The bond, which shall have a 2-year expiration date, may be either a cash or surety bond, and shall be released upon completion of the upfit of the commercial space. In the event the commercial space upfit is completed by units or phases, the bond amount may be proportionately reduced based on square footage as the space is occupied by a viable commercial entity possessing a business license issued by the City. The City shall reserve the right to call the bond for any uncompleted commercial space two weeks prior to the expiration of the bond.
- k. If property fronts College Ave the developer is responsible for installing the Downtown Corridor Plan for their frontage. If City staff deems installation impractical do to no logical termination point the developer must pay into a fund the cost equal to the cost of 150% the cost of all aspects of installation of the Downtown Corridor Plan for the section.
- l. Extending 100ft west of College Ave between North Clemson Ave and Old Greenville Hwy and extending 100ft east of College Ave between Earle Street and Old Greenville Hwy no build can

be taller than 3 stories and must maintain the existing building façade or be replaced with a reasonably close replica of the façade.

2. Conditional Use Standards [CM District Only]

- a. Principal use structure(s) that:
 - i. Front a public right-of-way shall have service, retail, or office uses along 100 percent of the façade that abuts the street, sidewalk, or grade level with the exception of frontages along Addison Lane, Knox Lane, Riggs Drive, Strode Circle, Edgewood Ave, McHugh Lane, Shorecrest Drive and Hillcrest Drive;
 - ii. Principal use structure(s) that otherwise abut a public sidewalk, Keowee Trail, City of Clemson property, or property owned by the U.S. Army Corps of Engineers shall have service, retail, or office uses along a minimum of 50% of the facade. On-site amenities may utilize the remaining frontage; and
 - iii. On-site leasing and/or on-site management offices shall comprise the lessor of 25% of a building facade abutting a public right-of-way or sidewalk or a maximum of 2,000 square feet; and
 - iv. No on-site amenities shall occupy the ground floor frontage along any public right-of-way or sidewalk.
- b. At least 50% of the required service, retail, or office uses shall occupy a space that has a minimum depth of 50 feet and the remaining portion shall occupy a space that has a minimum depth of 35', unless completely surrounding a public plaza as described in Section [19-404](#) Table 19-404-1 endnote 2.e. No commercial use shall be allowed to have a width of less than 15 feet.
- c. All parking provided within or under a mixed-use building must be designed to allow for maneuvering space sufficient to allow each vehicle to individually enter and exit the structure, as well as, all other design requirements of ARTICLE VIII.
- d. Surface parking shall not be allowed abutting a public right-of-way, sidewalk, City of Clemson property, or shoreline frontages of Lake Hartwell property owned by the U.S. Army Corps of Engineers.
- e. No more than one entrance, not exceeding 25 feet in width per street frontage, may be allowed to provide vehicular access to the interior of the building or site On College Ave or Hwy 93. An additional five feet of width for a pedestrian sidewalk shall be provided. Additional curb cuts may be allowed for service and emergency access.
- f. One eight foot wide entrance doorway providing pedestrian access to the interior of the principal use structure may be permitted per street frontage.
- g. Balconies shall comply with the following:
 - i. Shall not extend past the property line;
 - ii. Shall not overhang any public or private sidewalks; and
 - iii. Balconies shall be prohibited for portions of buildings abutting residentially zoned R-20 and R-12 properties.
- h. Dwelling units are permitted subject to the following:
 - i. Dwelling units are only allowed on floors above the grade level for any portion of a principal use structure(s) that abuts a public right-of-way (except Addison Lane Riggs Drive, Strode Circle, Edgewood Ave, McHugh Lane, Shorecrest Drive Keowee Trail or Knox Lane).
 - ii. For portions of a mixed use structure(s) not covered in subparagraph h)i., dwelling units may be located within the principal use structure(s) on any grade/floor provided no access to the individual dwelling units shall be permitted along the exterior of the building other than as provided by subparagraph f). All structures must be mixed use; and
 - iii. Each dwelling unit shall have minimum floor area of 350 square feet.

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- i. On-site management shall be required for short-term rentals of any dwelling unit of less than 30 days of occupancy.
 - j. A bond in an amount equal to 150% of the estimated cost for building out the commercial space (based on the current average cost for commercial construction in the area as determined by the City) shall be posted at the time of the issuance of the first Certificate of Occupancy issued for any portion of the residential component of the mixed-use structure. The bond, which shall have a 2-year expiration date, may be either a cash or surety bond, and shall be released upon completion of the upfit of the commercial space. In the event the commercial space upfit is completed by units or phases, the bond amount may be proportionately reduced based on square footage as the space is occupied by a viable commercial entity possessing a business license issued by the City. The City shall reserve the right to call the bond for any uncompleted commercial space two weeks prior to the expiration of the bond.
 - k. If property fronts College Ave the developer is responsible for installing the Downtown Corridor Plan for their frontage. If City staff deems installation impractical do to no logical termination point the developer must pay into a fund the cost equal to the cost of 150% the cost of all aspects of installation of the Downtown Corridor Plan for the section.
3. Conditional Use Standards [CP-2 & CP-3 Districts Only]
- a. Dwelling units are permitted subject to the following:
 - i. Dwelling units are only allowed on floors above the grade level for any portion of a principal use structure(s) that abuts a public right-of-way or sidewalk or any property owned by the City of Clemson or the U.S. Army Corps of Engineers except Holiday Ave, Holiday West, Holiday East, Stoney Creek Drive, Greenlee Place, Banks Street, Dupree Street, Carlton Lane, Reid Street, Freedom Drive, Presley Drive, Stephens Road, Wesley Street, any highway on or off ramp, Kelly Road, Vineyard Road, Brook Street, Berry Street, Canoy Lane, Newton Street, Liberty Drive, Stardust Lane, Summey Street, Skyview Drive, Williams Lane, Raven Lane West Lane and Cambridge Drive;
 - ii. For portions of a mixed use structure(s) or developments not covered in subparagraph a)i., dwelling units may be located within the principal use structures(s) on any grade/floor provided no access to the individual dwelling units shall be permitted along the exterior of the building other than a common entrance serving the interior of the structure(s).
 - iii. Each dwelling unit shall have minimum floor area of 350 square feet.
 - b. Frontage occupancy requirements for nonresidential uses in principal mixed-use structures that face Tiger Blvd (Hwy 123), Old Greenville Hwy (Hwy 93), Anderson Hwy (Hwy 76), Keowee Trail, Wall Street, or shoreline frontages of Lake Hartwell owned by the U.S. Army Corps of Engineers shall meet the following requirements:
 - i. Shall have service, retail, or office uses along 100 percent of that facade at street or sidewalk level.
 - ii. At least 50% of the required service, retail, or office uses shall occupy a space that has a minimum depth of 50' and the remaining portion shall occupy a space that has a minimum depth of 35', unless completely surrounding a public plaza as described in Section [19-404](#) Table 19-404-1 endnote 2.e. No commercial use shall be allowed to have a width of less than 15 feet.
 - iii. On-site leasing and/or on-site management offices shall comprise the lessor of 25% of a building facade abutting a public right-of-way or sidewalk or a maximum of 2,000 square feet;
 - iv. No on-site amenities shall occupy the ground floor frontage along any public right-of-way or sidewalk; and

- v. Site amenity facilities may be located along frontages of property owned by the City of Clemson or shoreline frontages of Lake Hartwell owned by the U.S. Army Corps of Engineers but may not comprise more than 25% of said frontage.
- c. No more than one entrance, not exceeding 25 feet in width per street of frontage on Hwy 123 or Hwy 93, may be allowed to provide vehicular access to the interior of the building or site. An additional five feet of width for a pedestrian sidewalk shall be provided. Additional curb cuts may be allowed for service and emergency access.
- d. Parking may be provided underneath principal use structures located within the interior of the lot provided the exterior façade is designed to hide the parking from the exterior. The architectural treatment shall be compatible with the facades of the other buildings on the site.

4. Mixed-use Structures and Mixed-use Developments 4 to 7 stories

1. Conditional Use Standards [C District Only]

- a. Principal use structure(s) that:
 - i. Front a public right-of-way shall have service, retail, or office uses along 100 percent of the facade that abuts the street, sidewalk, or grade level with the exception of Addison Lane and Daniel Drive.
 - ii. Principal use structure(s) that otherwise abut a public sidewalk, City of Clemson property or property owned by the U.S. Army Corps of Engineers shall have service, retail, or office uses along a minimum of 50% of the façade. On-site amenities may utilize the remaining frontage;
 - iii. On-site leasing and/or on-site management offices, shall comprise the lessor of 25% of a building facade abutting a public right-of-way or sidewalk or a maximum of 2,000 square feet; and
 - iv. No on-site amenities shall occupy the ground floor frontage along any public right-of-way or sidewalk.
- b. Of the required ground level commercial space, at least 50% of the frontage shall have a minimum depth of 50 feet. The remaining portion shall have a minimum depth of 35 feet. No commercial use shall be allowed to have a width of less than 15 feet.
- c. No more than one entrance, not exceeding 25 feet in width per street frontage, may be allowed to provide vehicular access to the interior of the building or site. An additional five feet of width for a pedestrian sidewalk shall be provided. Additional curb cuts may be allowed for service and emergency access.
- d. All parking provided within or under a mixed-use building must be designed to allow for maneuvering space sufficient to allow each vehicle to individually enter and exit the structure, as well as, all other design requirements of ARTICLE VIII.
- e. Surface parking shall not be allowed abutting a public right-of-way, sidewalk, City of Clemson property or property adjacent to shoreline frontages of Lake Hartwell owned by the U.S. Army Corps of Engineers.
- f. One eight foot wide entrance doorway providing pedestrian access to the interior of the principal use structure may be permitted per street frontage.
- g. Balconies shall comply with the following:
 - i. Shall not extend past the property line;
 - ii. Shall not overhang any public or private sidewalks; and
 - iii. Balconies shall be prohibited for portions of buildings abutting residentially zoned R-20 and R-12 properties.
- h. Dwelling units are permitted subject to the following:
 - i. Dwelling units are only allowed on floors above the grade level for any portion of a principal use structure(s) that abuts a public right-of-way or sidewalk or any property owned by the

City of Clemson or the U.S. Army Corps of Engineers other than for properties fronting Daniel Drive as noted in subparagraph a)i.);

- ii. For portions of a mixed use structure(s) not covered in subparagraph h)i), dwelling units may be located within the principal use structure(s) on any grade/floor provided no access to the dwelling units shall be permitted along the exterior of the building other than as provided by subparagraph (f). All structures must be mixed-use; and
- iii. Each dwelling unit shall have minimum floor area of 350 square feet.
- i. On-site management shall be required for short-term rentals of any dwelling unit of less than 30 days of occupancy.
- j. A bond in an amount equal to 150% of the estimated cost for building out the commercial space (based on the current average cost for commercial construction in the area as determined by the City) shall be posted at the time of the issuance of the first Certificate of Occupancy issued for any portion of the residential component of the mixed-use structure. The bond, which shall have a 2-year expiration date, may be either a cash or surety bond, and shall be released upon completion of the upfit of the commercial space. In the event the commercial space upfit is completed by units or phases, the bond amount may be proportionately reduced based on square footage as the space is occupied by a viable commercial entity possessing a business license issued by the City. The City shall reserve the right to call the bond for any uncompleted commercial space two weeks prior to the expiration of the bond.
- k. Maximum height in the C District is 5 Stories
- l. If property fronts College Ave the developer is responsible for installing the Downtown Corridor Plan for their frontage. If City staff deems installation impractical do to no logical termination point the developer must pay into a fund the cost equal to the cost of 150% the cost of all aspects of installation of the Downtown Corridor Plan for the section.
- m. Extending 100ft west of College Ave between North Clemson Ave and Old Greenville Hwy and extending 100ft east of College Ave between Earle Street and Old Greenville Hwy no build can be taller than 3 stories and must maintain the existing building façade or be replaced with a reasonably close replica of the façade.
- n. For all floor above the 3rd story the developer must pay to the City \$10.00 a square ft or participate in one or more of the following options.
 - i. For every 1 sq/ft of senior housing created within the city the developer can build 3 sq/ft of market housing above the 5th story.
 - ii. For every 1 sq/ft of affordable housing created within the city the developer can build 3 sq/ft of market housing above the 5th story.
 - iii. For every 1 sq/ft of attainable housing created within the city the developer can build 2 sq/ft of market housing about the 5th story.

2. Conditional Use Standards [CM District Only]

- a. Principal use structure(s) that:
 - i. Front a public right-of-way shall have service, retail, or office uses along 100 percent of the façade that abuts the street, sidewalk, or grade level with the exception of frontages along Addison Lane, Knox Lane, Riggs Drive, Strode Circle, Edgewood Ave, McHugh Lane, Shorecrest Drive and Hillcrest Drive;
 - ii. Principal use structure(s) that otherwise abut a public sidewalk, Keowee Trail, City of Clemson property, or property owned by the U.S. Army Corps of Engineers shall have service, retail, or office uses along a minimum of 50% of the facade. On-site amenities may utilize the remaining frontage; and

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- iii. On-site leasing and/or on-site management offices shall comprise the lessor of 25% of a building facade abutting a public right-of-way or sidewalk or a maximum of 2,000 square feet; and
- iv. No on-site amenities shall occupy the ground floor frontage along any public right-of-way or sidewalk.
- b. At least 50% of the required service, retail, or office uses shall occupy a space that has a minimum depth of 50 feet and the remaining portion shall occupy a space that has a minimum depth of 35', unless completely surrounding a public plaza as described in Section 19-404 Table 19-404-1 endnote 2.e. No commercial use shall be allowed to have a width of less than 15 feet.
- c. All parking provided within or under a mixed-use building must be designed to allow for maneuvering space sufficient to allow each vehicle to individually enter and exit the structure, as well as, all other design requirements of ARTICLE VIII.
- d. Surface parking shall not be allowed abutting a public right-of-way, sidewalk, City of Clemson property, or shoreline frontages of Lake Hartwell property owned by the U.S. Army Corps of Engineers.
- e. No more than one entrance, not exceeding 25 feet in width per street frontage, may be allowed to provide vehicular access to the interior of the building or site On College Ave or Hwy 93. An additional five feet of width for a pedestrian sidewalk shall be provided. Additional curb cuts may be allowed for service and emergency access.
- f. One eight foot wide entrance doorway providing pedestrian access to the interior of the principal use structure may be permitted per street frontage.
- g. Balconies shall comply with the following:
 - i. Shall not extend past the property line;
 - ii. Shall not overhang any public or private sidewalks; and
 - iii. Balconies shall be prohibited for portions of buildings abutting residentially zoned R-20 and R-12 properties.
- h. Dwelling units are permitted subject to the following:
 - i. Dwelling units are only allowed on floors above the grade level for any portion of a principal use structure(s) that abuts a public right-of-way (except Addison Lane Riggs Drive, Strode Circle, Edgewood Ave, McHugh Lane, Shorecrest Drive Keowee Trail or Knox Lane).
 - ii. For portions of a mixed use structure(s) not covered in subparagraph h)i., dwelling units may be located within the principal use structure(s) on any grade/floor provided no access to the individual dwelling units shall be permitted along the exterior of the building other than as provided by subparagraph f). All structures must be mixed use; and
 - iii. Each dwelling unit shall have minimum floor area of 350 square feet.
- i. On-site management shall be required for short-term rentals of any dwelling unit of less than 30 days of occupancy.
- j. A bond in an amount equal to 150% of the estimated cost for building out the commercial space (based on the current average cost for commercial construction in the area as determined by the City) shall be posted at the time of the issuance of the first Certificate of Occupancy issued for any portion of the residential component of the mixed-use structure. The bond, which shall have a 2-year expiration date, may be either a cash or surety bond, and shall be released upon completion of the upfit of the commercial space. In the event the commercial space upfit is completed by units or phases, the bond amount may be proportionately reduced based on square footage as the space is occupied by a viable commercial entity possessing a business license issued by the City. The City shall reserve the right to call the bond for any uncompleted commercial space two weeks prior to the expiration of the bond.

- k. If property fronts College Ave the developer is responsible for installing the Downtown Corridor Plan for their frontage. If City staff deems installation impractical do to no logical termination point the developer must pay into a fund the cost equal to the cost of 150% the cost of all aspects of installation of the Downtown Corridor Plan for the section.
- l. For floor above the 3rd story the developer must pay to the City \$10.00 a square ft or participate in one or more of the following options. (Properties on the East side of College Ave for the block bookend by the Strode Circle are not eligible for exceeding 5 stories)
 - i. For every 1 sq/ft of senior housing created within the city the developer can build 3 sq/ft of market housing above the 5th story.
 - ii. For every 1 sq/ft of affordable housing created within the city the developer can build 3 sq/ft of market housing above the 5th story.
 - iii. For every 1 sq/ft of attainable housing created within the city the developer can build 2 sq/ft of market housing about the 5th story.

F. Services

7. Other Person Services

c. Parking Lots

1. Conditional Use Standards (C, GM, CP-1 & CP-2 Districts only)

- a. A three foot masonry wall shall be constructed along all frontages that abut a public right-of way.
- b. ~~An eight foot Type "A" buffer yard along all exterior property lines. See Section 19-908/A buffer in accordance with Article 9 will be installed.~~
- c. No More than one driveway entrance, not exceeding 24 feet in width per street frontage.
- d. A minimum for foot wide pedestrian connection shall be provided to any abutting public sidewalk
- e. The interior of the parking lot shall comply with the landscape standards of Section 19-905-E

d. Freestanding Parking Structures

2. Conditional Use Standards (C, CM, CP-1 & CP-2 Districts only)

- a. Facades visible from any public right-of-way shall be designed to obscure the view of parked vehicles.
- b. The minimum front setback for any façade abutting a public right-of-way shall be five feet and the maximum shall be 15 feet
- c. A minimum of one upperstory tree shall be planted for every 30 feet of linear street frontage and a continuous row of three gallon shrubs planted three feet on center allowing for an approved pedestrian plaza or seating areas, excluding tree planting areas.
- d. No more than one entrance, not exceeding 25 feet in width per street frontage, may be allowed to provide vehicular access to the interior of the building or site. An additional five feet of width for a pedestrian sidewalk shall be provided.
- e. Shall not exceed 45 feet, including parapet or screening walls, but excluding stair towers and elevator penthouses.
- f. The height of stair towers and elevator penthouses for parking decks shall not exceed an additional 15 feet above the top of the principal structure and shall be screened from view from the public right-of-way.
- g. Ownership of parking structures permitted in the C and CM District shall be limited to City of Clemson, or City of Clemson/private partnerships.
- h. Ownership of parking structures permitted in the C and CM District shall be approved by the City of Clemson following a public hearing by City Council.

DRAFT

CODE OF ORDINANCES

CHAPTER 19 ZONING (1)

ARTICLE I . ADOPTION AND INTERPRETATION

Sec. 19-107. Definitions.

Adult day care facility See *Child day care facility*.

Affordable Housing Development means a development in which 25% of the residential units are "Affordable Unit"s

Affordable Unit means a housing unit in which is occupied by lower or very low income households, requires payment of monthly housing cost of no more than thirty percent of adjusted gross annual income

Aggrieved party means a person who has a substantial interest in any decision of the Zoning and Codes Administrator, the board of zoning appeals, or the appearance review board, and who has a right of appeal pursuant to S.C. Code §§ 6-29-800, 6-29-820, or 6-29-920, as and if amended

...

Lot width means the mean horizontal distance between the side lot lines of a lot measured at right angles to the depth; or the same distance measured at a point midway between the front lot line and rear lot line; or at the rear line of the required front setback (building line), especially on irregularly shaped lots.

Low Income Household means a housing-household making 80% of the median income for the City of Clemson.

Maintained foot-candles means luminous intensity of lighting fixtures adjusted for a maintenance factor accounting for dirt build-up and lamp output depreciation. The maintenance factor used in the design process to account for this depreciation cannot be lower than 0.72 for high-pressure sodium and 0.64 for metal halide and mercury vapor.

Modular building means a building of closed construction, other than a mobile home or manufactured home, constructed off-site in accordance with the applicable codes and transported to the point of use for installation or erection, as defined in S.C. Code, § 23-43-20(2), as amended, and which is certified by the South Carolina Building Codes Council in accord with S.C. Code § 23-43-80, as amended, and which bears evidence of such certification by attachment of a label issued by the South Carolina Building Codes Council.

Monthly Housing Cost means rent or mortgage payment, insurance and taxes.

Monument sign means a freestanding ground sign supported by an internal structural framework or structurally integrated into landscaping or other solid structural features generally having a low profile with no open space between the ground and the sign. This sign is designed to incorporate design and building materials which complement the architectural theme of the buildings on the premises.

...

Vehicular use area means any area used for movement, circulation, parking and/or display of any type of vehicle, including but not limited to parking lots, loading and unloading areas and sales service areas. Driveways and parking spaces serving detached single-household dwellings are exempt from this definition.

Very Low Income Household means a household making 50% of the median income for the City of Clemson.

Veterinary services means a place where animals or pets commonly kept in a residential dwelling are given medical or surgical treatment with indoor boarding of animals limited as an accessory use. (Also includes the term "animal hospital.")

ARTICLE III. RESIDENTIAL DISTRICTS AND DISTRICT REGULATIONS

DIVISION 1. RESIDENTIAL DISTRICTS

Sec. 19-301. Residential districts described.

MH Middle Housing

ARTICLE III. RESIDENTIAL DISTRICTS AND DISTRICT REGULATIONS

DIVISION 1. RESIDENTIAL DISTRICTS

Table 19-302. Table of Uses for Residential Districts

| | | P = Permitted Use C = Conditional Use SE = Special Exception Dash (-) = Use not Permitted | | | | | | | | | | |
|------------------------------------|---|---|-----------------|-----------------|-----------------|----------------|----------------|----------------|----------------|----------------|----|--------------------|
| USE CATEGORY | USE TYPE | NAICS CODE | R-20 | R-12 | R-7 | RM-1 | RM-2 | RM-3 | RM-3.5 | RM-4 | MH | C/SE Reference |
| A. | B. RESIDENTIAL USES | | | | | | | | | | | |
| Single-Family Residential Dwelling | Single-family Dwelling | NA | P | P | P | P | P | P | C | P | P | |
| | Manufactured Home | NA | - | - | - | - | C | - | - | - | - | |
| Two-Family Residential Dwelling | Duplex Dwelling | NA | - | - | C | P-C | P-C | P | C | P | C | |
| Residential Developments, Various | Patio Home Development | NA | - | - | C | C | C | C | C ² | C | C | See Endnote 2 |
| | Zero-Lot-Line Development | NA | - | - | C | C | C | C | C ² | C | C | See Endnote 2 |
| | Conservation Development | NA | SE ² | SE ² | SE ² | C ² | C ² | C ² | C ³ | C ² | - | See Endnotes 2,3,4 |
| | Townhouse Development | NA | - | - | C | C | C | C | C | C | C | |
| | Multi-family Development | NA | - | - | C | C | C | C | C | C | C | |
| | Affordable Housing Development | NA | - | - | C | C | C | C | - | C | C | |
| Group Homes | Group Home including Group Home for Young Adults Transitioning out of Foster Care | 6232 62399 07 | SE | SE | SE | SE | SE | C | C | C | C | See Endnote 4 |
| | Group Home for the Care of Individuals with Physical Handicaps and/or Special Needs | 6232 10 6239 90 | SE | SE | SE | SE | SE | C | C | C | C | See Endnote 4 |

| B. OTHER USES | | | | | | | | | | | | | |
|---|---|------------|-----------------|-----------------|----|-----------------|-----------------|-----------------|-----------------|-----------------|-----------------|----|---------------|
| Amenity and Support Uses Serving a Neighborhood or Residential Complex | Private Recreational Facilities Serving a Neighborhood or Residential Complex, (new development) | NA | C | C | C | C | C | C | C | C | C | | |
| | Private Recreational Facilities Serving a Neighborhood or Residential Complex, (existing development) | NA | SE ⁶ | SE ⁶ | SE | SE ⁶ | SE ⁶ | SE ⁶ | SE ⁶ | SE ⁶ | SE ⁶ | C | See Endnote 5 |
| | Storage of Watercraft and Utility Trailers on Commonly Owned Property | NA | - | - | - | - | - | C | C | C | C | C | |
| | Management Office, Serving a Duplex, Townhouse, or Multi-Family Development | 5311 10 | - | - | - | C | C | C | C | C | C | C | |
| Public Utilities | Electric Power Generation, Transmission and Distribution (Minor) | 2211 | P | P | P | P | P | P | P | P | P | P | |
| | Natural Gas Distribution (Minor) | 2212 | P | P | P | P | P | P | P | P | P | P | |
| | Water, Sewage and Other Systems (Major), Including Water Towers, but Excluding Treatment Facilities | 2213 | C | C | C | C | C | C | C | C | C | C | |
| | Water, Sewage and Other Systems (Minor), including pump/lift stations | 2213 | P | P | P | P | P | P | P | P | P | P | |
| Public Services | Telecommunication Facilities | 517 | SE | SE | SE | SE | SE | SE | SE | SE | SE | SE | |
| Nursing Residential Care Facilities | Nursing Care Facilities | 6231 10 | - | - | - | - | - | C | C | C | C | C | |
| | Community Care Facilities for the Elderly | 6233 1 | - | - | C | C | C | C | C | C | C | C | |
| Educational Services | Kindergarten (with Academic Program) and Elementary & Secondary Schools | 6111 | SE | SE | SE | SE | SE | SE | C | SE | C | | |
| Religious, Civic, and Similar Organizations | Religious Organizations (expansion on existing land) ⁷ | 8131 | C | C | C | C | C | C | C | C | C | C | See Endnote 6 |
| | Religious Organizations (expansion of land assemblage) | 8131 | SE | SE | SE | C | C | C | C | C | C | C | See Endnote 6 |
| | Religious Organizations (new) ⁷ | 8131 | SE | SE | SE | SE | SE | SE | SE | SE | SE | C | See Endnote 6 |
| | Public Recreational Facilities, Passive | NA | P | P | P | P | P | P | P | P | P | P | |

| | | | | | | | | | | | | |
|---------------------------------------|--|------------------|----|----|----|----|----|----|----|----|----|--|
| Public Recreational Facilities | Public Recreational Facilities, Active | NA | SE | SE | SE | C | C | C | C | C | P | |
| General Government | Library, Public | 519120 | SE | SE | SE | SE | SE | SE | C | SE | P | |
| | Public Safety Facilities (including Police, Fire, and EMS, but excluding jails and detentions centers) | 922120 922160 | SE | SE | SE | SE | SE | SE | C | SE | SE | |
| Other Services | Cemetery (excluding crematory) | 812220 | SE | SE | SE | SE | SE | SE | SE | SE | SE | |
| | Retail Store | | SE | SE | SE | SE | SE | SE | SE | SE | SE | |
| | Professional Services or Office | | SE | SE | SE | SE | SE | SE | SE | SE | SE | |
| | | | | | | | | | | | | |
| | | | | | | | | | | | | |

**ARTICLE III. RESIDENTIAL DISTRICTS AND DISTRICT REGULATIONS
 DIVISION 1. RESIDENTIAL DISTRICTS**

Table 19-303. Table of Accessory Uses for Residential Districts

| | | P = Permitted Use C = Conditional Use SE = Special Exception Dash (-) = Use not Permitted | | | | | | | | | | |
|--|---|---|------|------|-----|-------|------|------|--------|------|----|----------------|
| USE CATEGORY | USE TYPE | NAICS CODE | R-20 | R-12 | R-7 | R M-1 | RM-2 | RM-3 | RM-3.5 | RM-4 | MH | C/SE Reference |
| A. RESIDENTIAL ACCESSORY USES AND/OR STRUCTURES | | | | | | | | | | | | |
| Residential Accessory Uses and/or Structures | Apartment (within principal structure) | NA | C | C | C | C | C | C | C | C | C | |
| | Adult Care Services, Family Adult Care Home, 6 or Fewer Clients | 624120 | C | C | C | C | C | C | C | C | C | |
| | Adult Care Services, Group Adult Care Home 7 to 12 Clients | 624120 | - | - | - | C | C | C | C | C | C | |
| | Bed & Breakfast Inn | 721191 | SE | SE | SE | C | C | C | C | C | C | |
| | Childcare Services, Family Child Care Home, 6 or Fewer Children | 624410 | C | C | C | C | C | C | C | C | C | |
| | Childcare Services, Group Child Care Home 7 to 12 Children | 624410 | - | - | - | C | C | C | C | C | C | |
| | Cultivation of Land, Noncommercial | NA | C | C | C | C | C | C | C | C | C | |

| | | | | | | | | | | | | |
|---|--------|----|----|----|----|----|----|----|----|----|----|----------------------------|
| Customary & Typical Structures/Uses (Non-habitable) including greenhouses, garages and storage buildings | NA | C | C | C | C | C | C | C | C | C | C | |
| Detached Garage (non-habitable/non-commercial, serving townhouse/multi-family dwellings) | NA | - | - | - | - | - | C | C | C | C | C | |
| Equipment for Solar Energy Generation | NA | C | C | C | C | C | C | C | C | C | C | |
| Fences and Walls | NA | C | C | C | C | C | C | C | C | C | C | |
| Guest Cottage | NA | C | C | C | C | C | C | C | C | C | C | |
| Home Occupations | NA | C | C | C | C | C | C | C | C | C | C | |
| Honey Bees, including offsite or online sale of honey (excluding beekeepers selling bees, queens, nuclei, etc.) | 112910 | C | C | C | - | - | - | - | - | - | - | |
| Keeping of Chickens | NA | C | C | C | C | C | C | C | C | C | C | |
| Keeping of Livestock (except chickens) | NA | SE | SE | SE | SE | SE | SE | SE | SE | SE | SE | |
| Parking Structure, Freestanding | 812930 | SE | SE | SE | SE | SE | C | C | C | C | C | See Section 19-303 Endnote |
| Private Recreational Facilities (swimming pools, hot tubs, tennis courts, etc) | NA | C | C | C | C | C | C | C | C | C | C | |
| Short-term Rentals | NA | C | C | C | C | C | C | C | C | C | C | |

ARTICLE III. RESIDENTIAL DISTRICTS AND DISTRICT REGULATIONS
DIVISION 1. RESIDENTIAL DISTRICTS
Table 19-304. Density, Bulk, and Dimensional Requirements and Standards for Residential Districts.

| USE | DISTRICTS | | | | | | | | | | Reference |
|----------------------------|-----------|------|-----|------|------|------|--------|------|----|--|-----------|
| | R-20 | R-12 | R-7 | RM-1 | RM-2 | RM-3 | RM-3.5 | RM-4 | MH | | |
| A. RESIDENTIAL USES | | | | | | | | | | | |

MIDDLE HOUSING STANDARDS PLANNING COMMISSION 01/13/26
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| USE | DISTRICTS | | | | | | | | | |
|---|-----------|----------------------|----------------------|-----------------------|----------------------|-----------------------|----------------------|-----------------------|-------|------------------------------|
| | R-20 | R-12 | R-7 | RM-1 | RM-2 | RM-3 | RM-3.5 | RM-4 | MH | Reference |
| 1. Single-Family Residential Dwelling | | | | | | | | | | |
| a. Single-Family Dwelling | | | | | | | | | | |
| 1) Tract area required, min. (acres) | NA | NA | NA | NA | NA | NA | 2 | NA | NA | |
| 2) Lot area, min. (square footage) | 20,000' | 12,000' | 7,000' | 7,000' | 7,000' | 6,000' | NA | 3,000' | 7,000 | |
| 3) Lot width at front building line, min. | 100' | 80' | 60' | 60' | 60' | 50' | 40' | 40' | NA | |
| 4) Front setbacks, min. | 25' | 25' | 25'/15' ² | 25'/ 15' ² | 25'/15' ² | 25'/ 15' ² | 25'/15' ² | 25'/ 15' ² | 10' | See Section 19-304 Endnote 2 |
| 5) Side setbacks, min. | 10' | 10' | 8' | 8' | 8' | 5' | 5' | 5' | 8' | |
| 6) Rear setbacks, min. | 40' | 40' ³ | 15 | 15' | 15' | 15' | 15' | 15' | 8' | See Section 19-304 Endnote 3 |
| 7) Dwelling occupancy | 2 | 2 | 2 | 2 | 2 | 3 | 3 | 4 | 2 | |
| 8) Structure height, max. In stories | 35' 3 | 35' 3 | 35' ⁵ 3 | 35' 3 | 35' 3' | 35' 3 | 35' 3 | 35' 3 | 3 | See Section 19-304 Endnote 5 |
| 9) Lot area coverage, max. (percentage) | 40 / 30 | 40 / 30 ⁴ | | | | | | | | See Section 19-304 Endnote 4 |
| b. Manufactured Home | | | | | | | | | | |
| 1. Lot area, min. (square footage) | | | | | 7,000' | | | | | |
| 2. Lot width at front building line, min. | | | | | 65' | | | | | |
| 3. Front setbacks, min. | | | | | 25' | | | | | |
| 4. Side setbacks, min. | | | | | 8' | | | | | |
| 5. Rear setbacks, min. | | | | | 15' | | | | | |
| 6. Dwelling occupancy, max. | | | | | 2 | | | | | |
| 7. Structure height, | | | | | 35' | | | | | |

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| USE | DISTRICTS | | | | | | | | | Reference |
|---|-----------|------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|--------------------|
| | R-20 | R-12 | R-7 | RM-1 | RM-2 | RM-3 | RM-3.5 | RM-4 | MH | |
| max. | | | | | | | | | | |
| 2. Two-Family Residential Dwelling | | | | | | | | | | |
| a. Duplex Dwelling | | | | | | | | | | |
| 1. Development tract requirements | | | | | | | | | | |
| a. Tract area required, min. (acres) | | | | NA | NA | NA | 2 | NA | NA | |
| b. Density, max. (structures/acre) | | | | 5 | 5 | 6 | 7 | 10 | 7 | |
| c. Structure spacing | | | | 16' | 16' | 16' | 16' | 16' | 16" | |
| d. Front setback, min overall site | | | | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | Endnote 2 |
| e. Side setback, min overall site | | | | 8' | 8' | 8' | 8' | 8 | 8 | |
| f. Rear setback, min overall site | | | | 15' | 15' | 15' | 15' | 15' | 15' | |
| g. Structure height | | | | 35' | 35' | 35' | 35' | 35' | 35' | |
| 2. Development requirements for individual lots | | | | | | | | | | |
| a. Lot area, min. (square footage) | | | 7,000' | 8,000' | 8,000' | 7,000' | 6,000' | 4,000' | 4,000' | |
| b. Lot width at front building line, min. | | | 70' | 75' | 75' | 70' | 50' | 50 | 50 | |
| c. Front setbacks, min. | | | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | Endnote 2d) |
| d. Side setbacks, min. | | | 8' | 8' | 8' | 8' | 8' | 8 | 8 | |
| e. Rear setbacks, min. | | | 15' | 15' | 15' | 15' | 15' | 15' | 15' | |
| f. Dwelling occupancy, max. | | | 2 | 2 | 2 | 3 | 3 | 4 | 2 | |
| g. Structure height, max. In stories | | | 3 | 35' 3 | 35' 3 | 35 3 | 35' 3 | 35' 3 | 3 | |
| h. Conditional Use Standards [RM-3.5 District Only] | | | | | | | | | | See Section 19-309 |
| 3. Residential Developments, Various ¹¹ | | | | | | | | | | |
| a. Patio Home Development | | | | | | | | | | Endnote 11 |
| 1. Development tract requirements | | | | | | | | | | |
| a. Tract Acreage, min. | | | | 4 | 4 | 4 | 2 | 4 | | |
| b. Density ⁶ , max. (dwellings/acre) | | | | 10 | 10 | 14 | 17 | 21 | 14 | Endnote 6 |
| c. Front setbacks, min. for overall site | | | | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | Endnote 2 |
| d. Side setbacks, min. for overall site | | | | 10' | 10' | 10' | 10' | 10' | 10' | |
| e. Structure spacing, | | | | 10' 1-story | 10' 1-story | 10' 1-story | 10' 1-story | 10' 1-story | 10' 1-story | |

| USE | DISTRICTS | | | | | | | | | Reference | |
|---|-----------|------|-----|--------------------------------|--------------------------------|--------------------------------|--------------------------------|--------------------------------|--------------------------------|--------------------------------|-----------|
| | R-20 | R-12 | R-7 | RM-1 | RM-2 | RM-3 | RM-3.5 | RM-4 | MH | | |
| side | | | | 16' 2-story | 16' 2-story | 16' 2-story | 16' 2-story | 16' 2-story | 16' 2-story | 16' 2-story | |
| f. Rear setbacks, min. for overall site | | | | 15' | 15' | 15' | 15' | 15' | 15' | 15' | |
| g. Structure spacing, rear | | | | 30' | 30' | 30' | 30' | 30' | 30' | 30' | |
| h. Dwelling occupancy, max. | | | | 2 | 2 | 3 | 3 | 4 | 2 | 2 | |
| i. Structure height, max. | | | | 35' 3 | 35' 3 | 35' 3 | 35' 3 | 35' 3 | 35' 3 | 3 | |
| 2. Development requirements for individual lots | | | | | | | | | | | |
| a. Lot area per dwelling unit ⁷ , min. (square footage) | | | | 4,000' | 4,000' | 3,000' | 2,500' | 2,000' | 3,000' | 3,000' | Endnote 7 |
| b. Lot width at front building line, min. | | | | None | None | None | None | None | None | None | |
| c. Front setbacks, min. | | | | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | |
| d. Side setbacks, min. | | | | 5' 1-story 8' 2-story | 5' 1-story 8' 2-story | 5' 1-story 8' 2-story | 5' 1-story 8' 2-story | 5' 1-story 8' 2-story | 5' 1-story 8' 2-story | 5' 1-story 8' 2-story | |
| e. Rear setbacks, min. | | | | 15' | 15' | 15' | 15' | 15' | 15' | 15' | |
| f. Dwelling occupancy, max. | | | | 2 | 2 | 3 | 3 | 4 | 3 | 3 | |
| g. Structure height, max in stories | | | | 35' 3 | 35' 3 | 35' 3 | 35' 3 | 35' 3 | 35' 3 | 3 | |
| 3. Conditional Use Standards [RM-1, RM-2, RM-3, & RM-4 Districts Only] | | | | | | | | | | See Section 19-305 | |
| 4. Conditional Use Standards [RM-3.5 District Only] | | | | | | | | | | See Section 19-309 | |
| 5. Conditional Use Standards [R-7, MH, RM-1, RM-2, RM-3, & RM-4 Districts Only] | | | | | | | | | | See Section 19-305 | |
| 6. Conditional Use Standards [RM-3.5 District Only] | | | | | | | | | | See Section 19-309 | |
| b. Zero-Lot-Line Development | | | | | | | | | | Endnote 11 | |
| 1. Development requirements for individual lots | | | | | | | | | | | |
| a. Lot width at front building line, min. | | | | None | None | None | None | None | None | None | |
| b. Lot area per dwelling unit ⁷ , min. (square footage) | | | | 4,000' | 4,000' | 3,000' | 2,500' | 2,000' | 3,000' | 3,000' | Endnote 7 |
| c. Front setbacks, min. | | | | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | Endnote 2 |
| d. Side setbacks ⁸ , | | | | 0'/5' | 0'/5' | 0'/5' | 0'/5' | 0'/5' | 0'/5' | 0'/5' | Endnote 8 |

| USE | DISTRICTS | | | | | | | | | Reference |
|--|-----------|------|-----|----------------------------|----------------------------|------------------------------------|------------------------------------|------------------------------------|------------------------------------|-----------------------|
| | R-20 | R-12 | R-7 | RM-1 | RM-2 | RM-3 | RM-3.5 | RM-4 | MH | |
| min. | | | | 1-story 0'8" 2-story | 1-story 0'8" 2-story | 1-story 0'8" 2-story | 1-story 0'8" 2-story | 1-story 0'8" 2-story | | |
| e. Rear setbacks, min. | | | | 15' | 15' | 15' | 15' | 15' | | |
| f. Dwelling occupancy, max. | | | | 2 | 2 | 3 | 3 | 4 | | |
| g. Structure height, max in stories | | | | 35' 3 | 35' 3 | 35' 3 | 35' 3 | 35' 3 | | |
| 2. Conditional Use Standards [RM-1, RM-2, RM-3, & RM-4 Districts] | | | | | | | | | | See Section 19-305 |
| 3. Conditional Use Standards [RM-3.5 District Only] | | | | | | | | | | See Section 19-309 |
| c. <u>Conservation Development</u> | | | | | | | | | | Endnote 11 |
| 1. Conditional Use Standards [R-7, MH, RM-1, RM-2, RM-3, & RM-4] | | | | | | | | | | See Section 19-305 |
| 2. Conditional Use Standards [RM-3.5 District Only] ⁹ | | | | | | | | | | Endnote 9 |
| 3. <u>Special Exception</u> Standards [R-20 & R-12 Districts Only] | | | | | | | | | | See Section 19-305 |
| d. Townhouse Development | | | | | | | | | | Endnote 10 |
| 1. Development tract requirements | | | | | | | | | | |
| a. Tract area required, min.(acres) | | | | | | NA | 2 | NA | NA | |
| b. Density, max. (dwelling units/acre | | | | | | 21 | 29 | 29 | 29 | |
| c. Front setbacks, min. for overall site | | | | | | 25'/15' ² | 25'/15' 2 | 25'/15' 2 | 25'/15' ² | Endnote 2 |
| d. Side setbacks, min. for overall site | | | | | | 0' interior; 15' exterior | 0' interior; 15' exterior | 0' interior; 15' exterior | 0' interior; 15' exterior | |
| e. Rear setbacks, min. for overall site | | | | | | 15' | 15' | 15' | 15' | |
| f. Impervious surface coverage, max. | | | | | | 60% | 60% | 60% | 60% | |
| g. Open space requirements, min | | | | | | 25% | 25% | 25% | 25% | |

| USE | DISTRICTS | | | | | | | | | Reference |
|--|-----------|------|------------------------------|------------------------------|------------------------------|------------------------------|------------------------------|------------------------------|------------------------------|------------------------------|
| | R-20 | R-12 | R-7 | RM-1 | RM-2 | RM-3 | RM-3.5 | RM-4 | MH | |
| h. Common open space requirements, min. | | | | | | 3% | 4% | 4% | 4% | |
| i. Building spacing, min. | | | | | | 30' | 30' | 30' | 30' | |
| j. Dwelling occupancy, max | | | | | | 3 | 3 | 4 | 4 | |
| k. Structure height, max Stories | | | | | | 40' 3 | 40' 3 | 40' 3 | 3 | |
| 2. Development requirements for individual lots/dwellings | | | | | | | | | | |
| a. Lot area, min(square footage) | | | 3,500 | 3,500 | 3,500 | 2,000 | 1,500 | 1,500 | 1,500 | |
| b. Front Setbacks, min | | | 25'/15' 2 | 25'/15' 2 | 25'/15' 2 | 25'/15' 2 | 25'/15' 2 | 25'/15' 2 | 25'/15' 2 | See Section 19-304 Endnote 2 |
| c. Side setbacks, min. | | | 0' interior; 15' exterior | 0' interior; 15' exterior | 0' interior; 15' exterior | 0' interior; 15' exterior | 0' interior; 15' exterior | 0' interior; 15' exterior | 0' interior; 15' exterior | |
| d. Rear setbacks, min. | | | 15' | 15' | 15' | 15' | 15' | 15' | 15' | |
| e. Dwelling occupancy, max | | | 2 | 2 | 2 | 3 | 3 | 4 | 2 | |
| f. Structure height, max Stories | | | 3 | 3 | 3 | 40' 4 | 40' 4 | 40' 4 | 3 | |
| 3. Conditional Use Standards [RM-3 & RM-4 Districts Only] | | | | | | | | | | See Section 19-305 |
| 4. Conditional Use Standards [RM-3.5 District Only] | | | | | | | | | | See Section 19-310 |
| e. Multi-Family Development | | | | | | | | | | Endnote 11 |
| 1. Development tract requirements | | | | | | | | | | |
| a. Tract area required, min. (acres) | | | | | | | 2 | | | |
| b. Lot width at front building line, min. | | | | | | 80' | 80' | 80' | 80' | |
| c. Density, max. (bedrooms/acre) | | | | | | 18 40 | See Section 19-311 | 56 | 40 | See Section 19-311 |

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| USE | DISTRICTS | | | | | | | | | |
|---|-----------|------|-----|------|------|-------|--------------------|-------|-----|--------------------|
| | R-20 | R-12 | R-7 | RM-1 | RM-2 | RM-3 | RM-3.5 | RM-4 | MH | Reference |
| d. Impervious surface coverage, max. | | | | | | 60% | 60% | 60% | 60% | |
| e. Open space requirements, min. | | | | | | 25% | 25% | 25% | 25% | |
| f. Common open space requirements, min. | | | | | | 3% | 4% | 4% | 4% | |
| g. Building spacing, min. | | | | | | 30' | 30' | 30' | 30' | |
| h. Front setbacks, min. (exterior) | | | | | | 15' | 15' | 15' | 15' | |
| i. Side setbacks, min. (exterior) | | | | | | 15' | 15' | 15' | 15' | |
| j. Rear setbacks, min. (exterior) | | | | | | 25' | 25' | 25' | 25' | |
| k. Dwelling occupancy, max. | | | | | | 3 | 4 | 4 | 2 | |
| l. Structure height, max in stories | | | | | | 40'-4 | See Section 19-311 | 40'-5 | 3 | See Section 19-311 |

2. Development requirements for individual lots

| | | | | | | | | | | |
|--|--|--|----------------------|----------------------|----------------------|----------------------|----------------------|----------------------|-------|--|
| Lot area, min. (square footage) | | | 8,000' | 8,000' | 8,000' | 6,000' | 3,000 | 3,000' | 7,000 | |
| Lot width at front building line, min. | | | 60' | 60' | 60' | 50' | 40' | 40' | NA | |
| Front setbacks, min. | | | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | 25'/15' ² | 10' | |
| Side setbacks, min. | | | 8' | 8' | 8' | 5' | 5' | 5' | 8' | |
| Rear setbacks, min. | | | 15' | 15' | 15' | 15' | 15' | 15' | 8' | |
| Dwelling occupancy | | | 2 | 2 | 2 | 3 | 3 | 4 | 2 | |
| 10) Structure height, max. In stories | | | 3 | 3 | 3 | 4 | NA | 5 | 3 | |
| Lot area coverage, max. (percentage) | | | | | | | | | | |

4. Group Homes

a. Group Home

| | | | | | | | | | | |
|---|------|------|------|------|------|------|------|------|------|--|
| 1. Lot area, min. (acres) | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | 1 | |
| 2. Lot width at front building line, min. | 150' | 150' | 150' | 150' | 150' | 150' | 150' | 150' | 150' | |

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|--|---------|---------|--------|--------|--------|--------|--------|--------|--------|---|
| 3. Front setbacks, min. | 40' | 40' | 40' | 40' | 40' | 40' | 40' | 40' | 40' | |
| 4. Side setbacks, min. | 40' | 40' | 40' | 40' | 40' | 40' | 40' | 40' | 40' | |
| 5. Rear setbacks, min. | 40' | 40' | 40' | 40' | 40' | 40' | 40' | 40' | 40' | |
| 6. Structure height, max. | 35' | 35' | 35' | 35' | 35' | 35' | 35' | 35' | 35' | |
| 7. Impervious surface coverage, max. | 30% | 30% | 30% | 30% | 30% | 30% | 30% | 30% | 30% | |
| 8. Conditional Use Standards [RM-3, RM-3.5, & RM-4 Districts only] | | | | | | | | | | See Section 19-305 |
| 9. Special Exception Standards [R-20, R-12, R-7, MH, RM-1, & RM-2 Districts only] | | | | | | | | | | See Section 19-305 |
| b. Group Home for the Care of Individuals with Physical Handicaps and/or Special Needs | | | | | | | | | | |
| 1. Conditional Use Standards [RM-3, RM-3.5, & RM-4 Districts only] | | | | | | | | | | Subject to the requirements of SC Code of Laws, Section 6-29-770, is and if amended |
| 2. Special Exception Standards [R-20, R-12, RM-1, & RM-2 Districts only] | | | | | | | | | | Subject to the requirements of SC Code of Laws, Section 6-29-770, as and if amended |
| B. OTHER USES | | | | | | | | | | |
| 1. Amenity and Support Uses Serving a Neighborhood or Residential Complex | | | | | | | | | | |
| a. Private Recreational Facilities Serving a Neighborhood or Residential Complex | | | | | | | | | | |
| 1. Lot area, min. (square footage) | 20,000' | 12,000' | 7,500' | 7,500' | 7,500' | 7,500' | 6,000' | 6,000' | 6,000' | |
| 2. Lot width at front setback line, min. | 100' | 80' | 60' | 60' | 60' | 60' | 50' | 50' | 50' | |
| 3. Front setbacks, min. | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | |
| 4. Side setbacks, min. | 10' | 10' | 10' | 10' | 10' | 10' | 10' | 10' | 10' | |
| 5. Rear setbacks, min. | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | |
| 6. Structure height, max. | 35' | 35' | 35' | 35' | 35' | 35' | 35' | 35' | 35' | |
| 7. Lot area coverage, max. | 45% | 45% | | | | | | | | |
| 8. Conditional Use Standards for New Developments [All Residential Districts] | | | | | | | | | | See Section |

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|--|--|-----|-----|-----|-----|-----|-----|-----|-----|-------------------------|
| | | | | | | | | | | 19-305 |
| 9. Special Exception Standards for Facilities Serving an Existing Development/Neighborhood Not Previously Deeded to a Homeowners Association [All Residential Districts] | | | | | | | | | | See Section 19-305 |
| b. Storage of Watercraft and Utility Trailers on Commonly Owned Property | | | | | | | | | | |
| 1. Conditional Use Standards [RM-3, RM-3.5, and RM-4 Districts only] | | | | | | | | | | See Section 19-305 |
| c. Management Office Serving a Duplex, Townhouse, or Multi-family Development | | | | | | | | | | |
| 1. Conditional Standards [RM-1, RM-2, RM-3, RM-3.5, and RM-4 Districts] | | | | | | | | | | See Section 19-304-A.3. |
| 2. Public Utilities | | | | | | | | | | |
| a. Electric Power Generation, Transmission and Distribution (Minor) | | | | | | | | | | |
| 1. Front setbacks, min. | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | |
| 2. Side setbacks, min. | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | |
| 3. Rear setbacks, min. | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | |
| 4. Structure height, max. | 35' | 35' | 35' | 35' | 35' | 35' | 35' | 35' | 35' | |
| b. Natural Gas Distribution (Minor) | | | | | | | | | | |
| 1. Front setbacks, min. | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | |
| 2. Side setbacks, min. | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | |
| 3. Rear setbacks, min. | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | |
| 4. Structure height, max. | 35' | 35' | 35' | 35' | 35' | 35' | 35' | 35' | 35' | |
| c. Water, Sewage and Other Systems (Major), including water towers but excluding treatment facilities | | | | | | | | | | |
| 1. Front setbacks, min. | 50' | 50' | 50' | 50' | 50' | 50' | 50' | 50' | 50' | |
| 2. Side setbacks, min. | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | |
| 3. Rear setbacks, min. | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | |
| 4) Structure height max. | Set by the Zoning and Codes Administrator upon receipt and review of the Project Engineer's Report | | | | | | | | | |
| 5. Conditional Use Standards [All Districts] | | | | | | | | | | See Section 19-305 |
| d. Water, Sewage and Other Systems (Minor), including pump/lift stations | | | | | | | | | | |
| 1. Front setbacks, min. | 50' | 50' | 50' | 50' | 50' | 50' | 50' | 50' | 50' | |
| 2. Side setbacks, min. | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | |
| 3. Rear setbacks, min. | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | |
| 4) Structure height max. | 35' | 35' | 35' | 35' | 35' | 35' | 35' | 35' | 35' | |
| 3. Public Services | | | | | | | | | | |
| a. Telecommunication Facilities | | | | | | | | | | |
| 1) Special Exception Conditions [All Residential Districts] | | | | | | | | | | See ARTICLE |

4. Nursing Residential Care Facilities

a. Nursing Care Facilities

| | | | | | | | | | | |
|---|--|--|--|--|--|-------|-------|-------|------|--|
| 1. Lot area, min. (acres) | | | | | | 2 | 2 | 2 | 2 | |
| 2. Lot width at front building line, min. | | | | | | 150' | 150' | 150' | 150' | |
| 3. Front setbacks, min. | | | | | | 50' | 50' | 50' | 50' | |
| 4. Side setbacks, min. | | | | | | 25' | 25' | 25' | 25' | |
| 5. Rear setbacks, min. | | | | | | 40' | 40' | 40' | 40' | |
| 6. Structure height, max in stories | | | | | | 35' 3 | 35' 3 | 40' 4 | 3 | |

7. Conditional Use Standards [RM-3, RM-3.5, & RM-4 Districts Only]

See Section 19-305

b. Community Care Facilities for the Elderly

| | | | | | | | | | | |
|--|--|--|--|--------|--------|--------|--------|--------|--------|-----------|
| 1. Lot area, min. (acres) | | | | 1 | 1 | 1 | 1 | 1 | 1 | |
| 2. Lot area per dwelling unit ⁷ , min. (square footage) | | | | 4,000' | 4,000' | 4,000' | 4,000' | 4,000' | 4,000' | Endnote 7 |
| 3. Density ⁶ , max. (dwellings/acre) | | | | 11 | 11 | 14 | 17 | 21 | 11 | Endnote 6 |
| 4. Lot width at front building line, min. | | | | 100' | 100' | 100' | 100' | 100' | 100' | |
| 5. Front setbacks, min. | | | | 25' | 25' | 25' | 25' | 25' | 25' | |
| 6. Side setbacks, min. | | | | 10' | 10' | 10' | 10' | 10' | 10' | |
| 7. Rear setbacks, min. | | | | 25' | 25' | 25' | 25' | 25' | 25' | |
| 8. Structure height, max. | | | | 35' | 35' | 35' | 35' | 35' | 35' | |
| 9. Residential occupancy, max. | | | | 2 | 2 | 3 | 4 | 4 | 2 | |

10. Conditional Use Standards [RM-1, RM-2, RM-3, RM-3.5, & RM-4 Only]

See Section 19-305

5. Educational Services

a. Kindergarten (with Academic Program) and Elementary & Secondary Schools

| | | | | | | | | | | |
|---------------------------|-----|-----|-----|-----|-----|-----|-----|-----|-----|--|
| 1. Lot area, min. (acres) | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | 5 | |
| 2. Front setbacks, min. | 50' | 50' | 50' | 50' | 50' | 50' | 50' | 50' | 50' | |
| 3. Side setbacks, min. | 50' | 50' | 50' | 50' | 50' | 50' | 50' | 50' | 50' | |

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|---|-------|-------|-----|-------|-------|-------|-------|-------|-----|--------------------|
| 4. Rear setbacks, min. | 50' | 50' | 50' | 50' | 50' | 50' | 50' | 50' | 50' | |
| 5. Structure height, max. | 40' | 40' | 40' | 40' | 40' | 40' | 40' | 40' | 40' | |
| 6. Impervious surface coverage, max. | 30% | 30% | 30% | 30% | 30% | 60% | 60% | 60% | 30% | |
| 7. Conditional Use Standards [RM-3.5 District Only] | | | | | | | | | | See Section 19-305 |
| 8. Special Exception Standards [R-20, R-12, R-7, MH, RM-1, RM-2, RM-3, RM-4 Districts Only] | | | | | | | | | | See Section 19-305 |
| 6. Religious, Civic, and Similar Organizations | | | | | | | | | | |
| a. Religious Organizations | | | | | | | | | | |
| 1. Lot area, min. (acres) | 3 | 3 | 3 | 3 | 3 | 1.5 | 1.5 | 1.5 | 3 | |
| 2. Front setbacks ¹⁰ , min. | 50' | 50' | 50' | 50' | 50' | 25' | 25' | 25' | 50' | Endnote 10 |
| 3. Side setbacks ¹⁰ , min. | 50' | 50' | 50' | 50' | 50' | 15' | 15' | 15' | 50' | Endnote 10 |
| 4. Rear setbacks ¹⁰ , min. | 50' | 50' | 50' | 50' | 50' | 30' | 30' | 30' | 50' | Endnote 10 |
| 5. Structure height, max in stories | 40' 3 | 40' 3 | 3 | 40' 3 | 40' 3 | 40' 3 | 40' 3 | 40' 3 | 40' | |
| 6. Open space requirement, min. | 20% | 20% | 20% | 20% | 20% | 20% | 20% | 20% | 20% | |
| 7. Conditional Use Standards for Expansion of Existing Religious Organizations (expansion on existing land) [All Districts] | | | | | | | | | | See Section 19-305 |
| 8. Conditional Use Standards for Religious Organizations (expansion of land assemblage of existing religious organization) [All RM Districts] | | | | | | | | | | See Section 19-305 |
| 9. Special Exception Standards for Religious Organizations (expansion of land assemblage of existing religious organization) [R-20 & R-12 Districts Only] | | | | | | | | | | See Section 19-305 |
| 10. Special Exception Standards for New Religious Organizations [All Residential Districts] | | | | | | | | | | See Section 19-305 |
| 7. Public Recreational Facilities | | | | | | | | | | |
| a. Public Recreational Facilities, Passive | | | | | | | | | | |
| 1. Front setbacks, min. | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | |
| 2. Side setbacks, min. | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | |
| 3. Rear setbacks, min. | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | |
| 4. Structure height, max. (excluding lighting structures/poles which are subject to ARTICLE IX) | 15' | 15' | 15' | 15' | 15' | 15' | 15' | 15' | 15' | See ARTICLE |
| b. Public Recreational Facilities, Active | | | | | | | | | | |
| 1. Front setbacks, min. | 50' | 50' | 50' | 50' | 50' | 50' | 50' | 50' | 50' | |

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|--|------|------|------|------|------|--------|--------|--------|--------|------------------------------------|
| 2. Side setbacks, min. | 50' | 50' | 50' | 50' | 50' | 50' | 50' | 50' | 50' | |
| 3. Rear setbacks, min. | 50' | 50' | 50' | 50' | 50' | 50' | 50' | 50' | 50' | |
| 4. Structure height, max. (excluding lighting structures/poles which are subject to ARTICLE IX) | 40' | 40' | 40' | 40' | 40' | 40' | 40' | 40' | 40' | See ARTICLE X |
| 5. Conditional Use Standards <i>[All RM Districts]</i> | | | | | | | | | | See Section 19-305 |
| 6. Special Exception Standards <i>[R-20 & R-12 Districts Only]</i> | | | | | | | | | | See Section 19-305 |
| 8. General Government | | | | | | | | | | |
| a. Library, Public | | | | | | | | | | |
| 1. Building size, max. (gross floor area) | | | | | | 4,000' | 4,000' | 4,000' | 4,000' | |
| 2. Front setbacks, min. | | | | | | 50' | 50' | 50' | 50' | |
| 3. Side setbacks, min. | | | | | | 50' | 50' | 50' | 50' | |
| 4. Rear setbacks, min. | | | | | | 50' | 50' | 50' | 50' | |
| 5. Structure height, max. | | | | | | 40' | 40' | 40' | 40' | |
| 6. Conditional Use Standards <i>[RM-3.5 District only]</i> | | | | | | | | | | See Section 19-305 |
| 9. Special Exception Conditions <i>[R-20, R-12, R-7, RM-1, RM-2, RM-3, RM-4 Districts Only]</i> | | | | | | | | | | See Section 19-305 |
| 10. Other Services | | | | | | | | | | |
| a. Cemetery (excluding Crematory) | | | | | | | | | | |
| 1. Lot area, min. (acres) | 2 | 2 | 2 | 2 | 2 | 1 | 1 | 1 | | |
| 2. Lot width at front building line, min. | 250' | 250' | 250' | 250' | 250' | 250' | 250' | 250' | | |
| 3. Front setbacks, min. (including graves) | 25' | 25' | 25' | 25' | 25' | 25' | 25' | 25' | | |
| 4. Side setbacks, min. (including graves) | 10' | 10' | 10' | 10' | 10' | 10' | 10' | 10' | | |
| 5. Rear setbacks, min. (including graves) | 10' | 10' | 10' | 10' | 10' | 10' | 10' | 10' | | |
| 6. Structure height, max. | 15' | 15' | 15' | 15' | 15' | 15' | 15' | 15' | | |
| 7. Special Exception Standards <i>[All Residential Districts]</i> | | | | | | | | | | See Section 19-305 |
| | | | | | | | | | | |

| | | | | | | | | | |
|--|--|--|--|--|--|--|--|--|--|
| | | | | | | | | | |
| | | | | | | | | | |
| | | | | | | | | | |

No more than one principal use structure shall be permitted per lot with the exception of permitted accessory apartment or guest cottage per Section 19-305 C.1 or 19-303 C.12.

²The front setback shall be 25 feet unless rear yard parking or rear alleys loading driveways are provided. In such cases, the front setback may be reduced to 15 feet.

³ The rear yard setback for properties abutting lands owned by the US Army Corps of Engineers shall be five feet.

⁴ For parcels containing less than one acre, the maximum lot area coverage shall be 40 percent. For lots equal to or over one acre, the maximum lot area coverage shall be 30 percent. See Section 19-107 for definition of lot area coverage.

⁵ No identical homes shall be side by side. Adjacent homes must have different architecture. A variation of roofing material, siding material or color alone does not fulfill this requirement.

⁶ Maximum density calculations shall be applied for detached, single-household horizontal property regimes/condominium developments or if the property shall be owned and managed by a single legal entity.

⁷ Minimum lot area shall apply for developments subdivided as fee simple lots.

⁸ Side setback on the "zero side" shall be measured at the drip-line of the roof overhang. The entire structure must be contained on the lot containing the zero-lot-line structure.

⁹ Base development standards for all uses shall be used as the conditional standards for conservation developments in the RM-3.5 District.

¹⁰ The minimum setbacks for new structures serving a religious organization established before July 1, 1998 shall be 25 feet on the front, 25 feet on the side, and 40 feet on the rear.

¹¹ All residential developments of 3 or more units shall adhere to the design standards established in Table 19-1110-2.d. Exterior Building Design - Facade Design of Duplexes and Residential Developments, Various

(Ord. No. CC-2014-05, § 1, 8-18-14; Ord. No. CC-2015-24, 7-20-15; Ord. No. CC-2016-19, 7-5-16; Ord. No. CC-2017-02, 2-20-17; Ord. No. [CC-2021-24](#), 10/04/2021; Ord. No. [CC-2022-02](#), 01/03/2022); **Ord No. CC-202X-XX, XX/XX/XXXX**

ARTICLE III. DIVISION 2. CONDITIONAL USE AND SPECIAL EXCEPTION STANDARDS FOR RESIDENTIAL DISTRICT

19-305 Conditional Use and Special Exception Standards for Residential Districts

RESIDENTIAL USES

1. Single-Family Residential Dwelling

a. Single-Family Dwelling

1. Conditional use standards [RM-3.5 District Only]: See Sections [19-307](#), [19-308](#)

b. Manufactured Home

1. Conditional Use Standards *[RM-2 District Only]*

- a. No more than one manufactured housing unit per lot.
- b. Units shall be placed on permanent foundation supports of concrete or other suitable material adequate for the load.
- c. Mobile features shall be removed and underpinning or skirting shall be installed around the entire unit.

2. Two-Family Residential Dwelling

a. Duplex Dwelling

1. Conditional Use Standards [*RM-3.5 District Only*] : See Section 19-309

2. Conditional Use Standards [*R-7, Districts Only*]

- a. For Duplexes with front loading garages onto a public street, the garage shall comprise less than 50% of the individual dwelling's width.
- b. One upper story tree shall be required along the front property line of the Duplex for every 50 feet of street frontage.
 - i. The required street trees must be indicated on the landscape plan; and
 - ii. New trees planted to meet this requirement shall be a minimum two inch caliper.
- c. Parallel parking shall be designed as part of new streets and may be permitted subject to approval by City Council on existing city-owned streets.
- d. Underground utilities shall be provided on the lot and the adjacent Right of Way. This can be waived with or without conditions by the Zoning Official if this is unfeasible for a reason such as the utilities in question are a Transmission line.
- e. Board of Architectural Review (BAR) approval is required for all developments. Homes must conform to the Architectural Styles as depicted in Appendix A or to architectural style of an extraordinary quality approved by the BAR. Homes ~~shall~~ will be designed to look like a large signal family home
- f. If driveway access is to the front of the unit's driveways, ~~it shall~~ will be separated by a minimum 10ft wide landing area with a tree.
- g. A wall or fence shall be erected to screen the view of any utility equipment from the public right-of-way or sidewalk, except however, the Board of Architectural Review may approve a landscaped hedge sufficient to achieve the required visual screening.
- h. Homes shall have a minimum of two bushes and one tree planted in its yard.
- i. A parking area can hold no more than two cars unless they are in the rear of the building where they can hold a maximum of 6 cars without a separation of a 10 ft wide parking island with a tree planted in it.

- j. Underground utilities shall be provided on the lot and the adjacent Right-of-Way. This can be waived with or without conditions by the Zoning Official if this is unfeasible for a reason such as the utilities in question are a Transmission line.
3. Conditional Use Standards *[RM-1, RM-2, Districts Only]*
- a. For Duplexes with front loading garages onto a public street, the garage shall comprise less than 50% of the individual dwelling's width.
 - b. One upper story tree shall be required along the front property line of the Duplex for every 50 feet of street frontage.
 - i. The required street trees must be indicated on the landscape plan; and
 - ii. New trees planted to meet this requirement shall be a minimum two inch caliper.
 - c. Parallel parking shall be designed as part of new streets and may be permitted subject to approval by City Council on existing city-owned streets.
 - d. Underground utilities shall be provided on the lot and the adjacent Right-of-Way. This can be waived with or without conditions by the Zoning Official if this is unfeasible for a reason such as the utilities in question are a Transmission line.
 - e. Board of Architectural Review (BAR) approval is required for all developments. Homes must conform to the Architectural Styles as depicted in Appendix A or to architectural style of an extraordinary quality approved by the BAR. Homes shall will be designed to look like a large single family home.
 - f. If driveway access is to the front of the unit's driveways, it shall will be separated by a minimum 10ft wide landing area with a tree.
 - g. Houses with roof overhangs are allowed to encroach into required setbacks up to a maximum of 36 inches.
 - h. Tract Developments must provide open space as follows:
 - i. For projects involving the creation of 10 or less units a minimum of 10 percent of the area shall be open space with no less than 4 percent being common open space as defined by the ordinance;
 - ii. For projects involving the creation of 11 to 20 units less than 5 acres, a minimum of 15 percent of the area shall be open space with no less than 4 percent being common open space as defined by the ordinance;
 - iii. For projects involving the creation of 21 or more units greater than five acres, a minimum of 25 percent of the site shall be open space with no less than 5 percent being common open space as defined by the ordinance; and

- iv. No construction, clearing, grubbing or other land disturbance shall be permitted in the areas set aside to fulfill the open space requirement unless otherwise approved in writing by the Zoning & Codes Administrator prior to any such activity.
- v. A wall or fence shall be erected to screen the view of any utility equipment from the public right-of-way or sidewalk, except however, the Board of Architectural Review may approve a landscaped hedge sufficient to achieve the required visual screening.
- i. Shared parking for residents or guests shall be located behind the rear building line of structures facing the public right-of-way and shall be subject to landscape requirements for vehicular use areas and shall have established a long-term maintenance by a homeowners association or management organization.
- j. A parking area can hold no more than two cars unless they are in the rear of the building where they can hold a maximum of 6 cars without a separation of a 10 ft wide parking island with a tree planted in it.
- k. Parallel parking shall be designed as part of new streets within the development and may be permitted subject to approval by City Council on existing city-owned streets.
- l. Projects with side or rear yards directly abutting an R-20 or R-12 District shall provide a 10' buffer-yard with a 6' to 8' wood or masonry fence along the common property line. Properties separated by a publicly owned alley shall be required to meet this requirement.
- m. The primary entrance of each building shall accommodate pedestrian access from the street(s) and parking lots by the provision of sidewalks that connect shared parking lots to the dwellings and to the adjacent public right-of-way. If an existing sidewalk along the public right-of-way does not currently exist, one shall be provided spanning the entire length of the property's frontage.
- n. Detached garages must be located behind the front building line and must utilize architectural design and materials consistent with the principal structures. Garages integrated into the primary façade of the structure shall comprise less than 50% of the width of that.
- o. No homes of the same Architectural Style shall be side by side. Adjacent homes must have different architecture. A variation of roofing material, siding material or color alone does not fulfill this requirement.
- p. For Tract Development prior to the issuance of a certificate of occupancy for any structure within the development, an executed copy of deed restrictions including provisions for long-term property maintenance shall be provided to the City Zoning & Codes Administrator.
- q. For developments with onsite resident property manager, the manager shall be responsible for providing day-to-day oversight of the development, including compliance with zoning occupancy limits, keeping the site

maintained and free of trash, and serving as a point of contact for both the residents and the City Zoning & Codes Administrator regarding issues as they arise.

- r. Homes shall have a minimum of two bushes and one tree planted in its yard.
- s. Dog Waste Stations must be provided and maintained for all developments allowing the residents to have dogs. If required, dog waste stations will be provided at a ratio of 1 per every 100 beds.

3. Residential Developments, Various

a. Patio Home and Zero-Lot-Line Development

1. Conditional Use Standards [R-7, MH, RM-1, RM-2, RM-3, & RM-4 Districts Only]

~~b. A minimum of one acre shall be required for any patio home or zero lot line development. Board of Architectural Review approval is required for all developments. Homes must conform to the Architectural Styles as depicted in Appendix A or to architectural style of an extraordinary quality approved by the BAR.~~

c. Houses with roof overhangs are allowed to encroach into required setbacks up to a maximum of 36 inches.

c. Developments must provide open space as follows:

- i. For projects involving the creation of 10 or less units, a minimum of 10 percent of the area shall be open space with no less than 4 percent being common open space as defined by the ordinance;
- ii. For projects involving the creation of 11 to 20 units ~~less than 5 acres~~, a minimum of 15 percent of the area shall be open space with no less than 4 percent being common open space as defined by the ordinance;
- iii. For projects involving the creation of 21 or more units ~~greater than five acres~~, a minimum of 25 percent of the site shall be open space with no less than 5 percent being common open space as defined by the ordinance; and
- iv. No construction, clearing, grubbing or other land disturbance shall be permitted in the areas set aside to fulfill the open space requirement unless otherwise approved in writing by the Zoning & Codes Administrator prior to any such activity.

d. A wall or fence shall be erected to screen the view of any utility equipment from the public right-of-way or sidewalk, except however, the ~~Zoning & Codes Administrator Board of Architectural Review~~ may approve a landscaped hedge sufficient to achieve the required visual screening.

- e. For any zero-lot-line lot, a minimum five foot wide maintenance easement shall be placed on the adjacent lot sharing the zero setback to enable the property owner to locate the house on the zero side yard setback side.
- f. Shared parking for residents or guests shall be located behind the rear building line of structures facing the public right-of-way and shall be subject to landscape requirements for vehicular use areas and shall have established ~~a~~ long-term maintenance by a homeowners association or management organization.
- g. Parallel parking shall be designed as part of new streets within the development and may be permitted subject to approval by City Council on existing city-owned streets.
- h. Projects with side or rear yards directly abutting an R-20 or R-12 District shall provide a 10' buffer-yard with a 6' to 8' wood or masonry fence along the common property line. Properties separated by a publicly owned alley shall be required to meet this requirement.
- i. The primary entrance of each building shall accommodate pedestrian access from the street(s) and parking lots by the provision of sidewalks that connect shared parking lots to the dwellings and to the adjacent public right-of-way. If an existing sidewalk along the public right-of-way does not currently exist, one shall be provided spanning the entire length of the property's frontage.
- j. Detached garages must be located behind the front building line and must utilize architectural design and materials consistent with the principal structures. Garages integrated into the primary façade of the structure shall comprise less than 50% of the width of that
- k. ~~No identical homes~~ **No homes of the same Architectural Style** shall be side by side. Adjacent homes must have different architecture. A variation of roofing material, siding material or color alone does not fulfill this requirement.
- l. **Underground utilities shall be provided on the lot and the adjacent Right-of-Way. This can be waived with or without conditions by the Zoning Official if this is unfeasible for a reason such as the utilities in question are a Transmission line.**
- m. Single-family residential developments in the RM-3.5 District, including Patio Home and Zero-Lot-Line Developments, that utilize single-family lot configurations shall meet the requirements described in ARTICLE III, DIVISION 3.
- n. Prior to the issuance of a certificate of occupancy for any structure within the development, an executed copy of deed restrictions including provisions for long-term property maintenance shall be provided to the City Zoning & Codes Administrator.
- o. The onsite resident property manager shall be responsible for providing day-to-day oversight of the development, including compliance with zoning occupancy limits, keeping the site maintained and free of trash, and

- ii. New trees planted to meet this requirement shall be a minimum two inch caliper.
 - h. Parallel parking shall be designed as part of new streets and may be permitted subject to approval by City Council on existing city-owned streets.
 - i. Underground utilities shall be provided **on the lot and the adjacent Right-of-Way. This can be waived with or without conditions by the Zoning Official if this is unfeasible for a reason such as the utilities in question are a Transmission line.**
 - j. Prior to the issuance of a certificate of occupancy for any structure within the development, an executed copy of deed restrictions including provisions for long-term property maintenance shall be provided to the City Zoning & Codes Administrator.
 - k. Dog Waste Stations must be provided and maintained for all developments allowing the residents to have dogs. If required, dog waste stations will be provided at a ratio of 1 per every 100 beds.
 - l. **Board of Architectural Review approval is required for all developments. Homes must conform to the Architectural Styles as depicted in Appendix A or to architectural style of an extraordinary quality approved by the BAR.**
 - m. **Where feasible, townhouses must be ally loaded. If driveway access is to the front of the unit's driveways will be separated by a minimum 10ft wide landing area with a tree.**
 - n. **A parking area can hold no more than two cars unless they are in the rear of the building where they can hold a maximum of 6 cars without a separation of a 10 ft wide parking island with a tree planted in it.**
 - o. **An upper story tree will be provided every 50 ft of street frontage.**
2. **Conditional Use Standards [R-7, RM-1 & RM-2 Districts Only]**
- a. **Townhouse units shall be constructed to look like a series of attached buildings or unit.**
 - b. **Buildings housing a series of townhouse units having a maximum length of 135 feet.**
 - c. **Doors that operate as sliding-glass doors shall not be permitted on the front public-street frontages.**
 - d. **For townhouses with front loading garages onto a public street, the garage shall comprise less than 50% of the individual dwelling's width.**
 - e. **Detached garages serving multiple townhouses shall comply with the requirements of Section 19-305, Table 19-305C.9.**
 - f. **Driveways and walkways accessing individual townhouses shall be separated by landscaped strips at least 3' in width.**

- g. One upper story tree shall be required along the front property line of the townhouses for every 50 feet of street frontage.
 - i. The required street trees must be indicated on the landscape plan; and
 - ii. New trees planted to meet this requirement shall be a minimum two inch caliper.
- h. Parallel parking shall be designed as part of new streets and may be permitted subject to approval by City Council on existing city-owned streets.
- i. Underground utilities shall be provided on the lot and the adjacent Right-of-Way. This can be waived with or without conditions by the Zoning Official if this is unfeasible for a reason such as the utilities in question are a Transmission line.
- j. Prior to the issuance of a certificate of occupancy for any structure within the development, an executed copy of deed restrictions including provisions for long-term property maintenance shall be provided to the City Zoning & Codes Administrator.
- k. Dog Waste Stations must be provided and maintained for all developments allowing the residents to have dogs. If required, dog waste stations will be provided at a ratio of 1 per every 100 beds.
- l. Board of Architectural Review approval is required for all developments. Homes must conform to the Architectural Styles as depicted in Appendix A or to architectural style of an extraordinary quality approved by the BAR.
- m. Where feasible, townhouses must be ally loaded. If driveway access is to the front of the unit's driveways will be separated by a minimum 10ft wide landing area with a tree.
- n. A parking area can hold no more than two cars unless they are in the rear of the building where they can hold a maximum of 6 cars without a separation of a 10 ft wide parking island with a tree planted in it.
- o. An upper story tree will be provided every 50 ft of street frontage.

3. *Conditional Use Standards [RM-3.5 District Only]:* See Section 19-310

e. Multi-Family Development

1. Conditional Use Standards *[RM-3 & RM-4 Districts Only]*

- a. A bus stop or turnaround designed to meet the operational specifications of the Clemson Area Transit System (CAT) shall be provided if required by the CAT depending on availability of service;
- b. Facilities adequate to support the provision of household recycling services shall be provided to serve the development if required by the Department of Public Works; and

- c. Underground utilities shall be provided on the lot and the adjacent Right-of-Way. This can be waived with or without conditions by the Zoning Official if this is unfeasible for a reason such as the utilities in question are a Transmission line.
- d. For structures over 24' in height, the façade shall be designed to present a top, middle, and bottom story as described in ARTICLE XI, Table 19-1110.2.d.
- e. Multi-family buildings that face the street shall orient the front door to face the street or a central courtyard. All entries shall be made visually prominent and receive architectural emphasis such as a recessed entry, corner entry, projecting feature such as a porch, canopy or articulated lintels, or a framing feature such as pilasters or columns.
- f. Buildings having a length of 120 feet or less shall have a change in plane or significant architectural detail for each 40 feet of unbroken plane having a minimum depth of five feet.
- g. Buildings having a maximum length exceeding 120 feet in length shall have a change in plane or significant architectural detail for each 40 feet of unbroken plane having a minimum depth of five feet with a significant feature such as a courtyard or plaza incorporated into the façade's overall length. The plaza or courtyard shall have a minimum depth of 20' in depth and 20' in width. In no case shall an individual building exceed 200' in length.
- h. Doors that operate as sliding-glass doors shall not be permitted on the front public-street frontages.
- i. At least 15% of the total wall area of the front facades of any multi-family structures shall be composed of transparent glass and a minimum of 15% of the front facades shall incorporate materials or paint schemes that contrast to those used for the primary coverage.
- j. No outdoor grills, bicycles, or other personal items of the tenants shall be stored on front porches or balconies other than outdoor furniture designed for that purpose. No flags, towels, clothing or other similar items may be displayed or hung to dry from any balcony visible from adjacent properties or the public right-of-way.
- k. Prior to the issuance of a certificate of occupancy for any structure within the development, an executed copy of deed restrictions including provisions for long-term property maintenance shall be provided to the City Zoning & Codes Administrator.
- l. Dog Waste Stations must be provided and maintained for all developments allowing the residents to have dogs. If required, dog waste stations will be provided at a ratio of 1 per every 100 beds.
- m. An upper story tree will be provided every 50 ft of street frontage.

2. Conditional Use Standards [*MH, RM-1 & RM-2, Districts Only*]

- a. Board of Architectural Review approval is required for all developments. Homes must conform to the Architectural Styles as depicted in Appendix A or to architectural style of an extraordinary quality approved by the BAR. The Building shall will be designed to look like a large single family home.
- b. A parking area can hold no more than two cars unless they are in the rear of the building where they can hold a maximum of 6 cars without a separation of a 10 ft wide parking island with a tree planted in it.
- c. Facilities adequate to support the provision of household recycling services shall be provided to serve the development if required by the Department of Public Works; and
- d. Underground utilities shall be provided on the lot and the adjacent Right-of-Way. This can be waived with or without conditions by the Zoning Official if this is unfeasible for a reason such as the utilities in question are a Transmission line.
- e. Buildings shall not have a width or depth of greater than 80ft in the MH district and a width and depth of no greater than 60ft in the R-12, RM-1 and RM-2 districts.
- f. In the R-12, RM-1 and RM-2 District no more than 4 units can be in a building.
- g. Doors that operate as sliding-glass doors shall not be permitted on the front public-street frontages.
- h. No outdoor grills, bicycles, or other personal items of the tenants shall be stored on front porches or balconies other than outdoor furniture designed for that purpose. No flags, towels, clothing or other similar items may be displayed or hung to dry from any balcony visible from adjacent properties or the public right-of-way.
- i. An upper story tree will be provided every 50 ft of street frontage.

4. Group Homes

1. Group Home

- a. Special Exception Standards [*R-20, R-12, R-7, RM-1, & RM-2 Districts only*] AND
- b. Conditional Use Standards [*MH, RM-3, RM-3.5, & RM-4 Districts only*]
 1. The maximum occupancy, excluding staff, shall be subject to the following ratio:
 1. 12 residents for the first one acre; and
 2. One additional resident for every additional 12,000 square feet of area in the parcel to a maximum of 20 residents.
 - b. All parking shall be a minimum of 25 feet from any property line.

- c. One sign identifying the establishment shall be permitted subject to the following:
 - i. The sign shall not be greater than four square feet in area;
 - ii. No closer than 15 feet to any property; and
 - iii. May be externally illuminated only.
 - d. A 25 foot, type "C" bufferyard shall be provided between the use and adjacent parcels.
 - e. One upper story tree per 30 lineal feet shall be planted within eight feet of the front property line.
 - f. The use shall not be located closer than 1,000 feet (measured from any property line) from another such use.
 - g. Group homes for young adults transitioning out of foster care shall be licensed as per South Carolina [Chapter 14](#) Statutory Authority: 1981 Code Sections 20-7-2250.
 - h. **If new construction, the building must receive Board or Architectural Review approval and the building must conform to the architectural standards as shown in Appendix A.**
- b. *Group Home for the Care of Individuals with Physical Handicaps and/or Special Needs*
- 1. Conditional Use Standards [*MH, RM-3, RM-3.5, & RM-4*] AND
 - 2. Special Exception Standards [*R-20, R-12, R-7, RM-1, & RM-2*]: Subject to the requirements of SC Code of Laws, Section 6-29-770, as and if amended.
 - a. **If new construction, the building must receive Board or Architectural Review approval and the building must conform to the architectural standards as shown in Appendix A.**

B. Other Uses

- 1. Amenity and Support Uses Serving a Neighborhood or Residential Complex
 - a. *Private Recreational Facilities Serving a Neighborhood or Residential Complex*
 - 1. Conditional Use Standards for New Developments Involving the Creation of Individual Lots [*All Residential Districts*]
 - a. Shall be located on a separately deeded parcel of land designated as common property for the development.
 - b. Parcel of land shall be owned by or titled to the development's Homeowner's Association, Neighborhood Association, or developer of the property.
 - c. All amenities shall be maintained pursuant to a recorded document providing for private maintenance for the life of the amenity.

2. Special Exception Standards for Facilities Serving an Existing Development/Neighborhood Not Previously Deeded to a Homeowners Association *[All Residential Districts]*
 - a. May be located on a separately deeded parcel of land designated as common property for the development.
 - b. Parcel of land shall be owned by or titled to the development's Homeowner's Association, Neighborhood Association, or developer of the property.
 - c. All amenities shall be maintained pursuant to a recorded document providing for private maintenance for the life of the amenity.
 - b. *Storage of Watercraft and Utility Trailers on Commonly Owned Property*
 1. Conditional Use Standards *[MH, RM-3, RM-3.5, and RM-4 Districts only]*: See Section [19-908](#)
 - a. A 25 foot setback shall be required on the placement of watercraft or utility trailers in the storage area along all property lines.
 - b. A 10 foot type "B" bufferyard (see Section [19-908](#)) utilizing evergreen materials for understory trees shall be required along the frontage of the storage area and along any property lines that abut adjacent residential uses.
 - c. No watercraft and/or utility trailers other than those owned by a property owner in the development shall be stored in the common area.
 - d. The Zoning and Codes Administrator may permit the substitution of existing plant material for new material where it is determined adequate screening of the storage area is provided.
 - b. *Management Office Serving a Duplex, Townhouse, or Multi-family Development*
 1. Conditional Standards *[MH, RM-1, RM-2, RM-3, RM-3.5, and RM-4 Districts]*: See Section 19-304-A.3
 - a. Management Office shall comply with all site development standards applicable to the type of residential development served.
 - b. Management Office shall serve onsite units only.
2. Public Utilities
 - a. *Water, Sewage and Other Systems (Major), including water towers but excluding treatment facilities*
 1. Conditional Use Standards *[All Districts]*: See Section [19-908](#).
 - a. Access must be provided from an arterial or collector street.

- b. A type "A" Bufferyard (see Section [19-908](#)) with a minimum six-foot opaque wall or fence shall be provided along any property line where parking directly abuts a residential use or district.

3. Public Services

a. *Telecommunication Facilities*

1. Special Exception Conditions [*All Residential Districts*]: See ARTICLE VI, DIVISION 3.

4. Nursing Residential Care Facilities

b. Nursing Care Facilities

1. Conditional Use Standards [*MH, RM-3, RM-3.5, & RM-4 Districts Only*]

- a. Documentation of all required state statutory licensing must be submitted prior to permit issuance.
- b. This use may include dwelling units that are exclusively restricted to visitors, patients, or members of the staff.
- c. A minimum of one upper story tree, a minimum two inch caliper in size, shall be planted at 30 foot intervals along the entire length of the street frontage of the tract.
- d. A minimum of 20 percent open space shall be required with no less than three percent common open space.
- e. Required employee parking shall be provided behind the front building line; however, guest parking may be provided at the front entrance of the principal structure(s).
- f. Designated areas for loading and unloading clients shall be provided onsite and may be located within the front setback area at the entrance of the principal structure(s).
- g. An unlit monument sign not exceeding 42 square feet in area may be permitted.
- h. An externally illuminated wall sign or individually mounted channel letters shall be permitted at the main entrance to the building. The letters shall be no larger than 18 inches in height and shall contain only the name and address of the facility.
- i. **If new construction, the building must receive Board or Architectural Review approval and the building must conform to the architectural standards as shown in Appendix A.**

b. Community Care Facilities for the Elderly

1. Conditional Use Standards [*MH, RM-1, RM-2, RM-3, RM-3.5, & RM-4 Only*]

- a. Management services consistent with the needs of the complex shall be permitted, including meal services and day-to-day support for elder or conveyance care complexes.
- b. The management office may either be located within a dwelling unit or in a separate structure subject to the dimensional requirements of the district.
- c. Required employee parking shall be provided behind the front building line; however, guest parking may be provided at the front entrance of the principal structure.
- d. Documentation of all required state statutory licensing must be submitted prior to permit issuance.
- e. This use may include dwelling units that are exclusively restricted to visitors, patients, or members of the staff.
- f. A minimum of one upper story tree, a minimum two inch caliper in size, shall be planted at 30 foot intervals along the entire length of the street frontage of the tract.
- g. A minimum of 20 percent open space shall be required with no less than three percent common open space.
- h. An unlit monument sign not exceeding 42 square feet in area may be permitted.
- i. An externally illuminated wall sign or individually mounted channel letters shall be permitted at the main entrance to the building. The letters shall be no larger than 18 inches and contain only the name and address of the facility.
- a. **If new construction, the building must receive Board or Architectural Review approval and the building must conform to the architectural standards as shown in Appendix A.**

5. Educational Services

- b. *Kindergarten (with Academic Program) and Elementary and Secondary Schools*
 1. Conditional Use Standards [*RM-3.5 District Only*] AND
 2. Special Exception Standards [*R-20, R-12, R-7, MH RM-1, RM-2, RM-3, RM-4 Districts Only*]: See Section 19-908
 - a. Access must be provided from an arterial or collector street.
 - b. All parking shall be provided behind the front building line of the principal structure.

- c. Designated areas for loading and unloading clients shall be provided onsite and may be located within the front setback area at the entrance of the principal structure(s).
- d. A type "A" bufferyard (see Section [19-908](#)) shall be provided along any property line where parking directly abuts a residential use or district.

6. Religious, Civic, and Similar Organizations

1. *Religious Organizations*

- 1. Conditional Use Standards for Expansion of Existing Religious Organizations (expansion on existing land) *[All Districts]*
 - a. Any additional parking shall be no closer than 25 feet to any property line.
 - b. No driveway connections shall be allowed onto residential streets having less than 50 feet in right-of-way width.
 - c. Driveway connections onto residential streets will be permitted subject to the following:
 - i. One two-way driveway connect **is** not greater than 24 feet in width; or
 - ii. Two one-way driveways not greater than twelve 12 feet in width.
 - d. Designated areas for drop-off and pick-up of passengers shall be provided onsite.
 - e. If landscape buffers as required by ARTICLE XI have not been previously provided, bufferyards shall be required as follows:
 - i. A minimum 10-foot type "A" bufferyard with a six-foot high fence or wall shall be installed along all property lines not fronting a right-of-way where the structure and/or parking is within 50 feet of the property line; and
 - ii. A minimum 10-foot type "A" bufferyard with a three-foot landscaped berm shall be provided along any public right-of-way where parking directly abuts the property line.
- 2. Conditional Use Standards for Religious Organizations (expansions of land assemblage) *[All RM Districts];*
- 3. Special Exception Standards for Religious Organizations (expansion of land assemblage) *[R-20 and R-12] AND*
- 4. Special Exception Standards for Religious Organizations (new) *[All Residential Districts]*
 - a. No driveway connections shall be allowed onto residential streets having less than 50 feet in right-of-way width.

- b. Residential structures shall meet the setback standards of the zoning district.
- c. Uses shall be in a permanent structure.
- d. Parking shall be no closer than 25 feet to any property line.
- e. Driveway connections onto residential streets will be permitted subject to the following:
 - i. One two-way driveway connect **is** not greater than 24 feet in width; or
 - ii. Two one-way driveways not greater than 12 feet in width.
- f. Designated areas for drop-off and pick-up of passengers shall be provided onsite.
- g. In addition to any landscape buffers required by *ARTICLE IX*, a minimum 10 foot type "A" bufferyard with a three foot landscaped berm shall be provided along any public right-of-way where parking directly abuts the property line.

7. Public Recreational Facilities

1. *Public Recreational Facilities, Active*

- 1. Conditional Use Standards [*All RM Districts Only*] AND Special Exception Standards [*R-20 & R-12 Districts Only*]: See Section [19-908](#)
 - a. A minimum set back 50 feet from all property lines shall apply to all structures, parking, uses, unloading/drop-off areas, equipment, and lighting.
 - b. Solid wall or fence, or vegetative screening adequate to protect adjacent property from noise and light is provided.
 - c. A 10-foot, type "B" bufferyard shall be provided for parcels directly abutting any residentially zoned property.

8. General Government

1. *Library, Public*

- 1. Conditional Use Standards [*RM-3.5 District only*] AND
- 2. Special Exception Standards [*R-20, R-12, R-7, RM-1, RM-2, RM-3, RM-4 Districts Only*]: See Section [19-908](#)
 - a. Access must be provided from an arterial or collector street.
 - b. All parking shall be provided behind the front building line of the principal structure.
 - c. Areas for client drop-off and pick-up shall be provided onsite.
 - d. An eight foot type "A" bufferyard shall be provided along any property line where parking directly abuts a residential use or district.

b. Public Safety Facilities (including Police, Fire and EMS, but excluding Jails And Detention Centers)

1. Conditional Use Standards [RM-3.5 District Only] AND
2. Special Exception Conditions [R-20, R-12, R-7, MH, RM-1, RM-2, RM-3, RM-4 Districts Only]: See Section 19-908
 - a. Access must be provided from an arterial or collector street.
 - b. All parking shall be provided behind the front building line of the principal structure.
 - c. An eight foot type "A" bufferyard (see Section 19-908) shall be provided along any property line where parking directly abuts a residential use or district.
 - d. Any fixed training equipment shall be behind the front building line and shall be setback a minimum of 50 feet from any abutting property line.

9. Other Services

1. Cemetery (excluding Crematory)

1. Special Exception Standards [All RM Districts & MH]: See Section 19-908
 - a. No dwelling unit for a caretaker shall be permitted.
 - b. All grave sites shall be a minimum of 10 feet from a property line.
 - c. One unlit sign may be permitted subject to the following:
 - i. Maximum size shall be six square feet, and
 - ii. Maximum height 10 feet.
 - d. A five-foot type "A" bufferyard (see Section 19-908) with a four to six-foot-high fence or wall shall be maintained along all residential property lines.

b. Game Day Parking

1. Conditional Use Standards [All R & RM Districts]
 - a. Acquisition and maintenance of a yearly Special Event Permit, Game Day Parking.
 - b. May be located on a vacant lot if the owner is the same owner as an adjacent lot.

c. Retail Store

1. Special Exception Use Standards [All Districts]
 - a. Can utilize existing build, but if new construction, Board of Architectural Review approval is required for all new construction. Building must conform to the Architectural Styles as depicted in Appendix A or to architectural style of an extraordinary quality

approved by the BAR. BAR approval needed for all site improvements.

- b. Hours of operation are limited to 6 am to 9 pm.
- c. BZA shall determine max and minimum number of parking spaces.
- d. All lighting must be dark sky compliant.
- e. Must be located on arterial or collector streets.
- f. New buildings are limited to 4,000 sq/ft.
- g. Free standing sign limited to 24 sq/ft
- h. Wall mounted sign limited to 40 sq/ft
- i. No signage can be internal lit.
- j. Wall mounted sign shall be channel letters or made of wood stone or metal faced.
- k. Free standing sign shall be made of wood stone or metal faced.

d. Professional Services

2. Special Exception Use Standards *[All Districts]*

- a. Can utilize existing build, but if new construction, Board of Architectural Review approval is required for all new construction. Building must conform to the Architectural Styles as depicted in Appendix A or to architectural style of an extraordinary quality approved by the BAR. BAR approval needed for all site improvements.
- b. BZA shall determine ours of operation.
- c. BZA shall determine max and minimum number of parking spaces.
- d. All lighting must be dark sky compliant.
- e. New buildings are limited to 4,000 sq/ft.
- f. Free standing sign limited to 24 sq/ft
- g. Wall mounted sign limited to 40 sq/ft
- h. No signage can be internal lit.
- i. Wall mounted sign shall be channel letters or made of wood stone or metal faced.
- j. Free standing sign shall be made of wood stone or metal faced.

Sec. 19-405. Standards for conditional use and special exceptions for non-residential districts.

J. ACCESSORY USES AND STRUCTURES IN NON-RESIDENTIAL DISTRICTS

10. Roof Top Canopy

a. Conditional Use Standards

1. Shall be limited to Hotels only.
2. Design, placement, and anchorage of the canopy must be certified by an appropriately South Carolina licensed engineer and be approved by the City Building Official. Plans submitted for roof top canopies proposed to be installed on existing buildings must be accompanied by an engineering analysis of the structure's capability of supporting the intended use and anticipated occupancy limits.
3. Walls are only allowed to be used during events, and shall be installed no earlier than twenty-four (24) hours prior to the start of the event, and must be removed no later than twenty-four (24) hours after the end of the event.
4. The canopy design, appearance, and installation location must be approved by the Board of Architectural Review (BAR); collapsable and certified glass or isinglass (or similar product) folding systems (which may have a permanent component in the canopy design) and collapsable insulated panel roofing structures are permitted.
5. Canopy height and setbacks from the edge of buildings will be determined by the BAR, who may impose whatever conditions are deemed appropriate to mitigate visual impacts of the structure and/or create an aesthetically better project; canopy height is permitted up to 8' clear height (under support system) on the perimeter of the canopy at the outer edges of the building provided glass or isinglass (or similar product) is used.
6. A weather station capable of accurately measuring and recording roof top wind speeds must be permanently installed prior to the use of any approved canopy, which will meet current building requirements for wind loads.
7. A sign detailing an approved safety plan for the canopy area and surroundings must be posted in a highly-visible place on the roof top. The safety plan will include what measures must be taken a different wind speeds as determined by the certifying engineer.

ARTICLE VI. GENERAL AND SUPPLEMENTARY REGULATIONS

DIVISION 1. GENERAL PROVISIONS

Sec. 19-603. Exceptions to maximum structure height.

Unless otherwise noted, the district regulation height limitations shall not apply to chimneys, church spires, flag poles, antennas, utility or communications towers, non-habitable architectural features, or necessary mechanical features not occupying more than one-tenth (1/10) of the roof area, provided they shall not exceed 30 percent of the district standard.

District regulation height limitations shall not apply to Roof Top Canopies that meet Conditional Use Standards.

(Ord. No. CC-2014-05, § 1, 8-18-14; Ord. No. CC-2015-31, 8-17-15; Ord. No CC-2026-XX, X-X-X)